

ALL WORK SHALL COMPLY WITH THE CBC, CRC, CPC, CMC, CEC, AND OTHER APPLICABLE CODES AS AMENDED AND ADOPTED BY THE CITY OF OAKLAND IN EFFECT AT THE TIME OF PERMIT APPLICATION

A MINIMUM OF 1 WINDOW PER SLEEPING ROOM SHALL MEET THE EMERGENCY EGRESS REQUIREMENTS OF CRC SECTION R310 AND CBC SECTION 1029

CITY OF OAKLAND
 DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA • SUITE 3315 • OAKLAND, CALIFORNIA 94612
 Planning and Building Department (510) 238-3941
 Bureau of Planning (510) 238-6538
 TOD (510) 238-3254

June 22, 2019

Line & Space
 C/O Mike Burgess
 875A Island Drive #221
 Alameda, CA 94502

RE: Case File No. PLN19020: 1435 9th Street (004-0067-003-00)

Dear Applicant,

Your application, as described below, has been **APPROVED** for the reasons stated in Attachment A, which contains the findings required to support this decision. Attachment B contains the Conditions of Approval for the project. This decision is effective ten (10) days after the date of this letter unless appealed as explained below.

The following table summarizes the proposed project:

Proposal:	Abatement of Code Enforcement Case(s) 1204502 & 1604097 to restore, repair and remodel an existing fire damage two-story duplex. Project includes the raising of the existing basement to create a new ground floor. Results in a three-story duplex.
Planning Permits Required:	Regular Design Review to move the existing building from the adjacent parcel. Raise the building 4' to create a new ground floor garage and additional floor area. Minor Variance to raise the building within the required side yard setbacks. Minor Conditional Use Permit to allow 35' height limit.
General Plan:	Mixed Housing Type Residential
Zoning:	RM-2 Mixed Housing Type Residential 2 Zone
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines; Existing facilities, Section 15303 of the State CEQA Guidelines; New Construction of small structures, Section 15183 of the State CEQA Guidelines; Projects Consistent with a Community Plan, General Plan or Zoning.
Historic Status:	Area of Primary Importance (API), Oakland Point, OCHS Rating: C1+
City Council District:	3

If you, or any interested party, seeks to challenge this decision, an appeal must be filed by no later than ten calendar (10) days from the date of this letter, by 4:00 pm on July 22, 2019. An appeal shall be on a form provided by the Bureau of Planning and Building Department, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 3315, to the attention of Jose M. Herrera-Preza, Planner III. The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the Zoning Manager or wherein his/her decision is not supported by substantial evidence and must include payment of \$1602.57 in accordance with the City of Oakland Master Fee Schedule. Failure to timely appeal will preclude you, or any interested party, from challenging the City's decision in court. The appeal itself must raise each and every issue that is contested, along with all the arguments and evidence in the record which supports the basis of the appeal; failure to do so may preclude you, or any interested party, from raising such issues during the appeal and/or in court. However, the appeal will be limited to issues and/or evidence presented to the Zoning Manager prior to the close of the previously noticed public comment period on the matter.

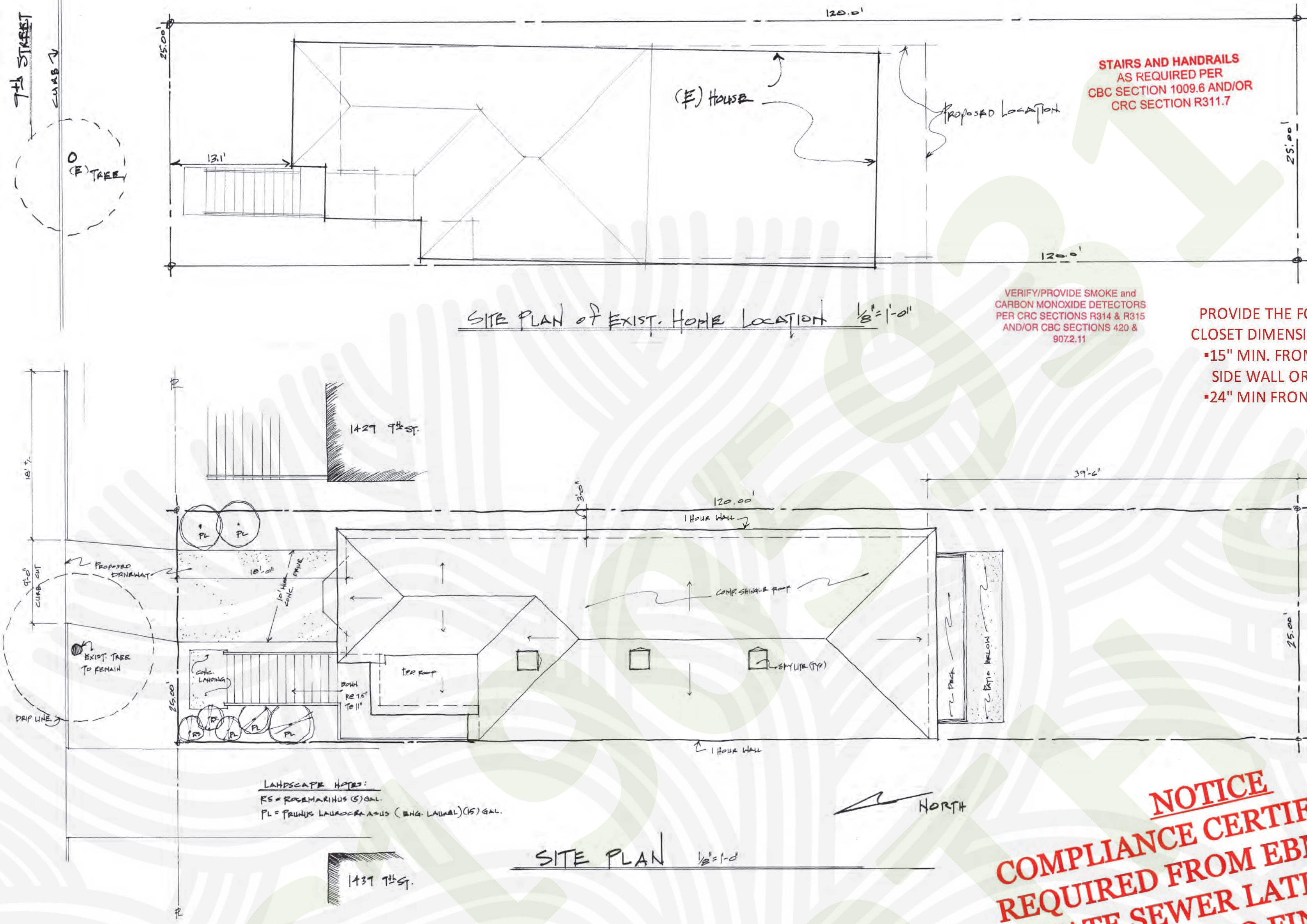
A signed Notice of Exemption (NOE) is enclosed certifying that the project has been found to be exempt from CEQA review. It is your responsibility to record the NOE and the Environmental Declaration at the Alameda County Clerk's office at 1106 Madison Street, Oakland, CA 94612, at a cost of \$50.00 made payable to the Alameda County Clerk. Please bring the original NOE related documents and five copies to the Alameda County Clerk, and return one date stamped copy to the Bureau of Planning, to the attention of Jose M. Herrera-Preza, Planner II. Pursuant to Section 15062(d) of the California Environmental Quality Act (CEQA) Guidelines, recordation of the NOE starts a 35-day statute of limitations on court challenges to the approval under CEQA.

If you have any questions, please contact the case planner, Jose M. Herrera-Preza, Planner II at (510) 238-3808 or jherrera@oakland.gov, however, this does not substitute for filing of an appeal as described above.

Very Truly Yours,

ROBERT D. MERLA
 Zoning Manager

cc: Oakland Heritage Alliance: Christopher Buckley: cbuckley@att.net & Naomi Schiff: naomi@12th.com



PENETRATION OF FIRE RESISTANCE RATED ASSEMBLIES PER CRC SECTIONS R302.4 & R302.5 AND CBC SECTIONS 714 & 715

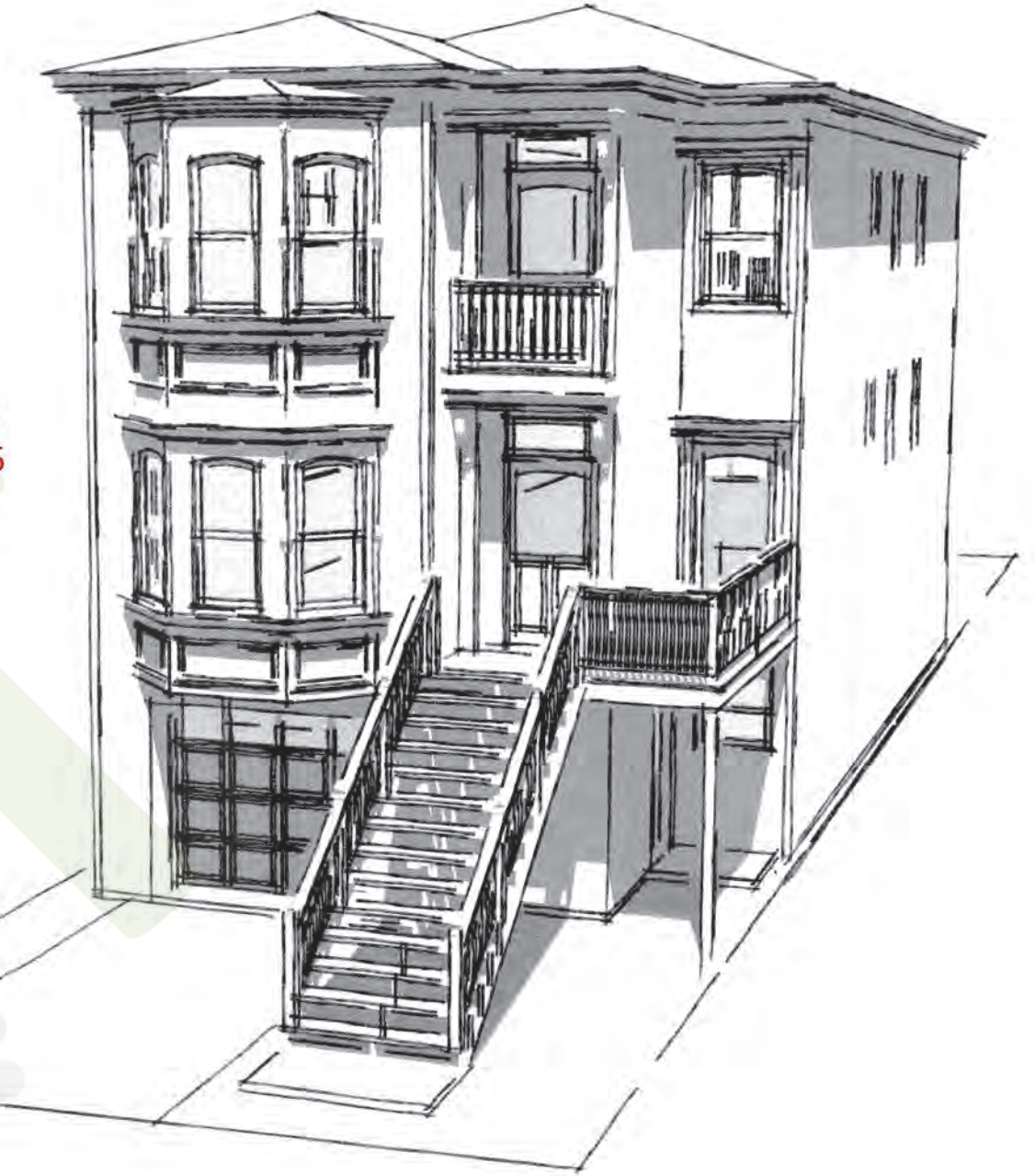
VERIFY/PROVIDE LIGHT AND VENTILATION REQUIREMENTS IN ALL HABITABLE ROOMS PER CRC SECTION R303 AND/OR CBC SECTIONS 1203 & 1205

USE 'DUROCK' OR 'WONDERBOARD' OR AN APPROVED EQUAL BEHIND GLUE-ON TILE IN TUB, BATH, OR SHOWER AREAS PER OAKLAND BUILDING CODE

STAIRS AND HANDRAILS AS REQUIRED PER CBC SECTION 1009.6 AND/OR CRC SECTION R311.7

PROVIDE THE FOLLOWING WATER CLOSET DIMENSIONS PER CPC 402.5
• 15" MIN. FROM CENTERLINE TO SIDE WALL OR OBSTRUCTION
• 24" MIN FRONT CLEARANCE

VERIFY/PROVIDE SMOKE and CARBON MONOXIDE DETECTORS PER CRC SECTIONS R314 & R315 AND/OR CBC SECTIONS 420 & 9072.11



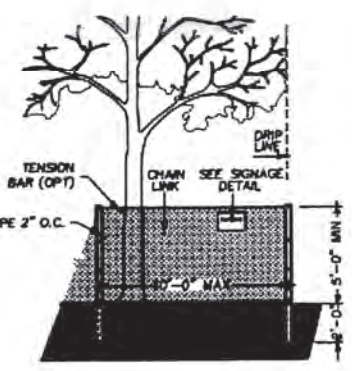
& Space
 burges.mike@mac.com
 650-690-4951
 Alameda CA

APPROVED
 By Jose M Herrera-Preza at 9:56 am, Dec 28, 2020

- SPECIAL INSPECTION LIST (checklist items are required)**
- FOUNDATION**
- Piers and Columns
 - Grading and Drainage
 - Other
- CONCRETE CONSTRUCTION**
- Formwork
 - Reinforcement
 - Rebar Placement
 - Masonry
 - Bolts in Concrete
 - Other
- STEEL CONSTRUCTION**
- Welding
 - High Strength Bolting
 - Other
- SEISMIC RESISTANCE**
- Structural Wood
 - Structural Steel
 - Other
- WIND RESISTANCE**
- -
 -
- STRUCTURAL OBSERVATIONS (if below)**
- -
 -
- Fireproofing
 Title 24 HERO Verification
 Special Case

EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PROTECTION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT TREE PROTECTIVE MEASURES ARE MAINTAINED AND ABIDE BY ALL TREE PROTECTION REQUIREMENTS AS INCORPORATED INTO THE GRADING PLANS.
2. FENCING SHALL BE MAINTAINED 3 FEET AWAY FROM THE TRUNK OF ANY TREE (OR ANY OR EQUIVALENT STRENGTH DURABLE) TO THE ROOTS OF THE TREE AND SPACED NOT MORE THAN 18 INCHES APART.
3. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, UNLESS SPECIFICALLY FOR DAMAGE AND REPAIR FUNCTIONS, APPROVED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES TO TREE TRUNKS AND ROOTS FROM INSPECTION.
4. SIGN THAT INDICATES THE WORK, WARNING AND FENCING SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE. SIGN SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISIBLY PROMINENT LOCATION.



Digitally signed by Marquez Vintrel Monroe
 Date: 2020.12.04 10:15:43 -08'00'

RBC1905931

APPROVED

CITY OF OAKLAND BUREAU OF BUILDING PLAN CHECK SECTION
 For Substantial Compliance With Codes and Ordinances
 REVISIONS NEED APPROVAL
 By: M. Monroe

- BUILDING CODE
 - SUBJECT TO 101.5 Sec. 182.4 Sec. 107.6
 - CBC Sec. 1103.4 & 1103.5
 - SURVEY (REVIEW ONLY)
 - PLOT PLAN REVIEW
 - PARKING/DRIVEWAY LAYOUT
 - GRADING AND EROSION CONTROL
 - SOILS REPORT ON FILE
- ELECT. MECH. PLUMB. NOT CHECKED**
 Date: 12/04/2020

Index of Drawings

- C1.1 Site Plan w/ Front Elevations
- C1.2 Survey
- T1.1 Title 24 Unit 1
- T1.2 Title 24 Unit 2
- A0.0 Conditions of Approval
- A1.1 Existing Elevations
- A1.2 Proposed Elevations
- A2.1 Existing and Proposed Floor Plans
- A3.1 Sections/Details
- S1.0 Foundation/Framing Plans
- S2.0 Framing/Roof Plans
- S3.0 Details
- S4.0 Details/Notes

Remodel/Renovation - 1435 9th St.
 Oakland CA
 1435 9th Street

C1.1

GENERAL NOTES

THE SCOPE AND LIMIT OF THIS SURVEY WAS DEFINED IN SEPTEMBER BY MICHAEL BURGESS. USE OF THIS SURVEY IS LIMITED TO THE PROPERTY OWNER AS REFERENCED IN THE TITLE BLOCK AND CONSULTANTS FOR THE SPECIFIC PROJECT. OTHERS MAY NOT USE THIS MAP WITHOUT THE PERMISSION OF THE CLIENT AND HUMANN COMPANY. BOUNDARY AND BASIS OF BEARINGS ARE PER THE UNDERLYING RECORD MAP AS REFERENCED IN THE TITLE BLOCK HEREON.

TITLE REPORT WAS NOT SUPPLIED AND/OR AVAILABLE FOR THIS SURVEY. ACCORDINGLY, EASEMENTS, IF ANY, MAY EXIST AND ARE NOT NECESSARILY SHOWN HEREON.

THE ELECTRONIC FILE IF SUPPLIED, IS BEING DONE SO AS A COURTESY AND CONVENIENCE, AND IS SUBORDINATE TO THE PROVIDED SIGNED HARD COPY MAP WITH RESPECT TO CONTENT, ACCURACY AND QUALITY. HUMANN COMPANY MAKES NO WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED FOR ANY COPIES OF THE DRAWINGS OR WORK ASSOCIATED WITH THE ELECTRONIC FILE BY OTHERS.

BUILDING(S) SHOWN HEREON CONTAINS DECORATIVE ARCHITECTURAL ELEMENTS ALONG ITS WALLS AND CORNERS WHICH ARE NOT NECESSARILY ACCOUNTED FOR IN THE BUILDING FOOTPRINT AS SURVEYED AND MAPPED. PRIOR TO THE PREPARATION OF WORKING DRAWINGS, THE ARCHITECT/DESIGNER SHOULD FIELD INSPECT ANY AREAS ON THE BUILDING WHERE AN ADDITION OR OTHER IMPROVEMENT IS EXPECTED TO OCCUR (IF SETBACKS OR OTHER CONSTRAINTS ARE AN ISSUE), AND CONSULT WITH THE SURVEYOR OR ENGINEER AS NEEDED.



9TH STREET

CENTER STREET



Eric A. Humann
ERIC (RICK) A. HUMANN PLS 5452

September 25, 2018
DATE

RBC1905931

APPROVED
CITY OF OAKLAND
BUREAU OF BUILDING
PLAN CHECK SECTION
For Substantial Compliance With
Codes and Ordinances
REVISIONS NEED APPROVAL
By: M. Monroe

- X BUILDING CODE
- SUBJECT TO: Sec 187.2, Sec 187.3, Sec 187.4, Sec 187.5, Sec 187.6, Sec 187.7, Sec 187.8, Sec 187.9, Sec 187.10, Sec 187.11, Sec 187.12, Sec 187.13, Sec 187.14, Sec 187.15, Sec 187.16, Sec 187.17, Sec 187.18, Sec 187.19, Sec 187.20, Sec 187.21, Sec 187.22, Sec 187.23, Sec 187.24, Sec 187.25, Sec 187.26, Sec 187.27, Sec 187.28, Sec 187.29, Sec 187.30, Sec 187.31, Sec 187.32, Sec 187.33, Sec 187.34, Sec 187.35, Sec 187.36, Sec 187.37, Sec 187.38, Sec 187.39, Sec 187.40, Sec 187.41, Sec 187.42, Sec 187.43, Sec 187.44, Sec 187.45, Sec 187.46, Sec 187.47, Sec 187.48, Sec 187.49, Sec 187.50, Sec 187.51, Sec 187.52, Sec 187.53, Sec 187.54, Sec 187.55, Sec 187.56, Sec 187.57, Sec 187.58, Sec 187.59, Sec 187.60, Sec 187.61, Sec 187.62, Sec 187.63, Sec 187.64, Sec 187.65, Sec 187.66, Sec 187.67, Sec 187.68, Sec 187.69, Sec 187.70, Sec 187.71, Sec 187.72, Sec 187.73, Sec 187.74, Sec 187.75, Sec 187.76, Sec 187.77, Sec 187.78, Sec 187.79, Sec 187.80, Sec 187.81, Sec 187.82, Sec 187.83, Sec 187.84, Sec 187.85, Sec 187.86, Sec 187.87, Sec 187.88, Sec 187.89, Sec 187.90, Sec 187.91, Sec 187.92, Sec 187.93, Sec 187.94, Sec 187.95, Sec 187.96, Sec 187.97, Sec 187.98, Sec 187.99, Sec 187.100
- SURVEY (REVIEW ONLY)
- PLOT PLAN REVIEW
- PARKING/LANDSCAPE LAYOUT
- GRADING AND EROSION CONTROL
- SOILS REPORT ON FILE
- ELECT. MECH. PLUMB. NOT CHECKED
- Date: 12/04/2020



BEFORE EXCAVATING CALL U.S.A.
OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.
THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

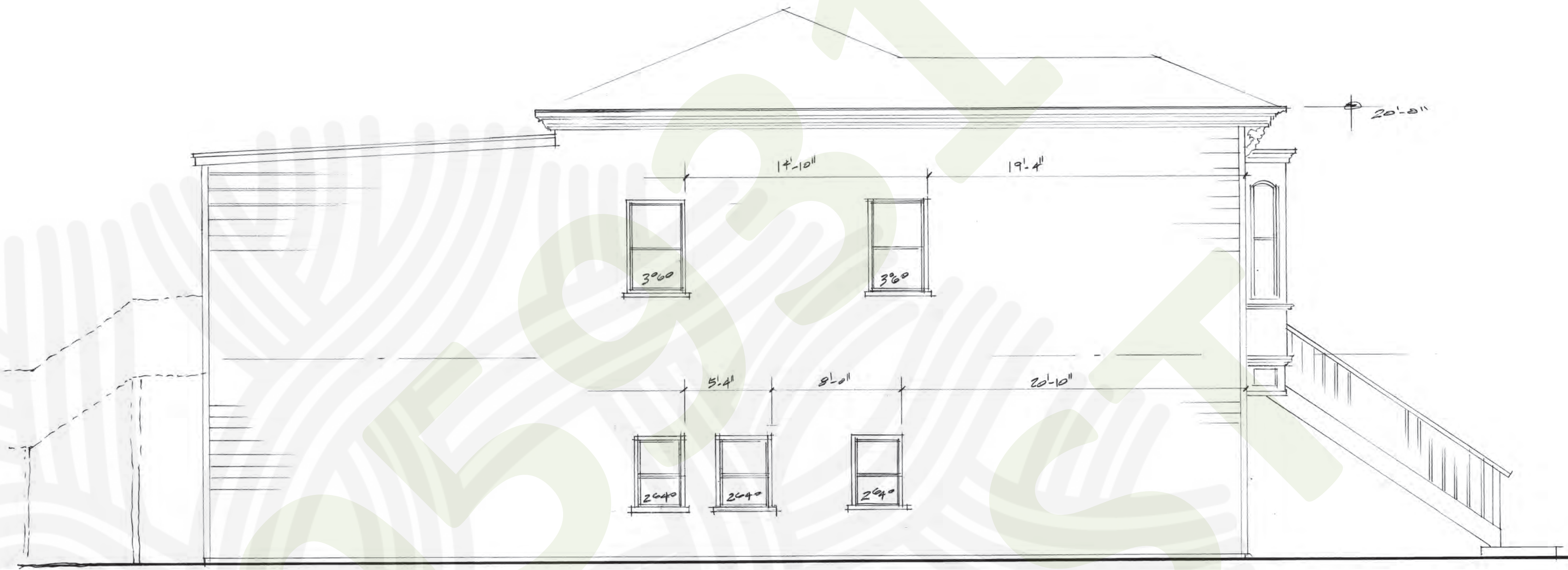
REVISIONS
SCALE 1" = 10'
DATE 9/18
DRAWN DB
CHECKED
JOB NO. 18112

BUILDING LOCATION SURVEY
PORTION OF LOT 11, BLOCK 552, EIGHT STREET TRACT BK 7 PG 22, ALAMEDA COUNTY RECORDS
MICHAEL BURGESS -- 1435 9TH STREET
CITY OF OAKLAND CALIFORNIA

HUMANN COMPANY INC.
ENGINEERING SURVEYORS
1025 BURNING WOOD DRIVE
PH (925) 283-5000 FAX (925) 283-3578
humann@pacbell.net

C1.2

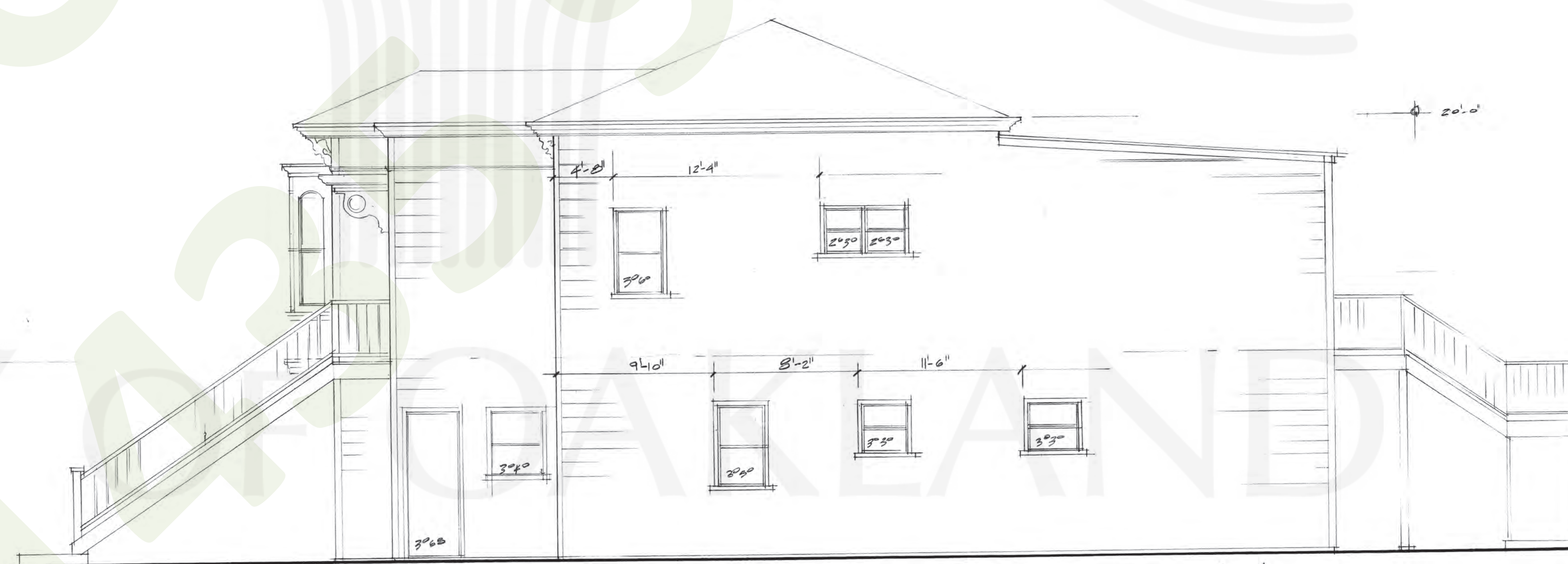
JOB NO. 18112



EXISTING EAST ELEVATION 1/4"=1'-0"



EXISTING SOUTH ELEVATION 1/4"=1'-0"



EXISTING WEST ELEVATION 1/4"=1'-0"



RBC1905931

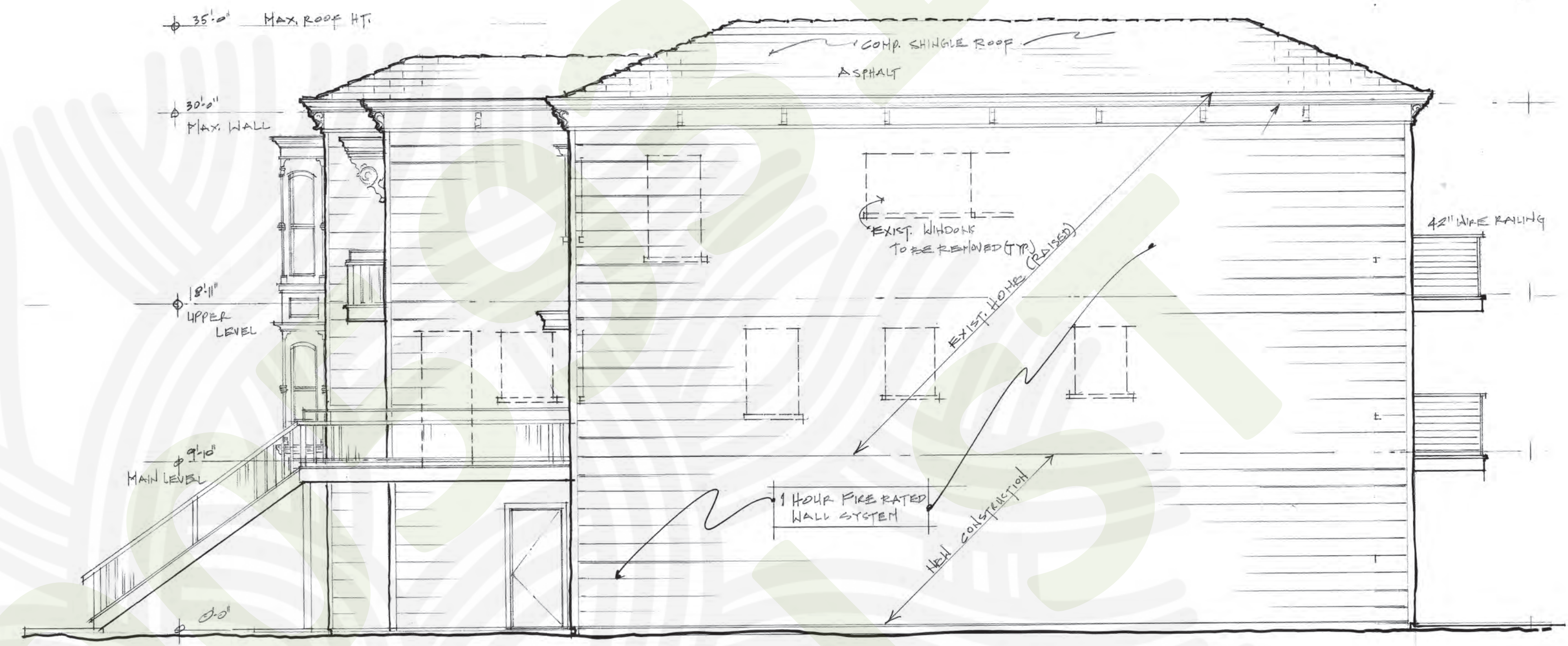
APPROVED

CITY OF OAKLAND
 BUREAU OF BUILDING
 PLAN CHECK SECTION
 For Substantial Compliance With
 Codes and Ordinances
 REVISIONS NEED APPROVAL

By: M. Monroe

- X BUILDING CODE SUBJECT TO: Sec. 185.4, Sec. 187.2, CRC Sec. R102 + R. Sec. R102.3
- SURVEY (REVIEW ONLY)
- PLOT PLAN REVIEW
- PARKING/DRIVEWAY LAYOUT
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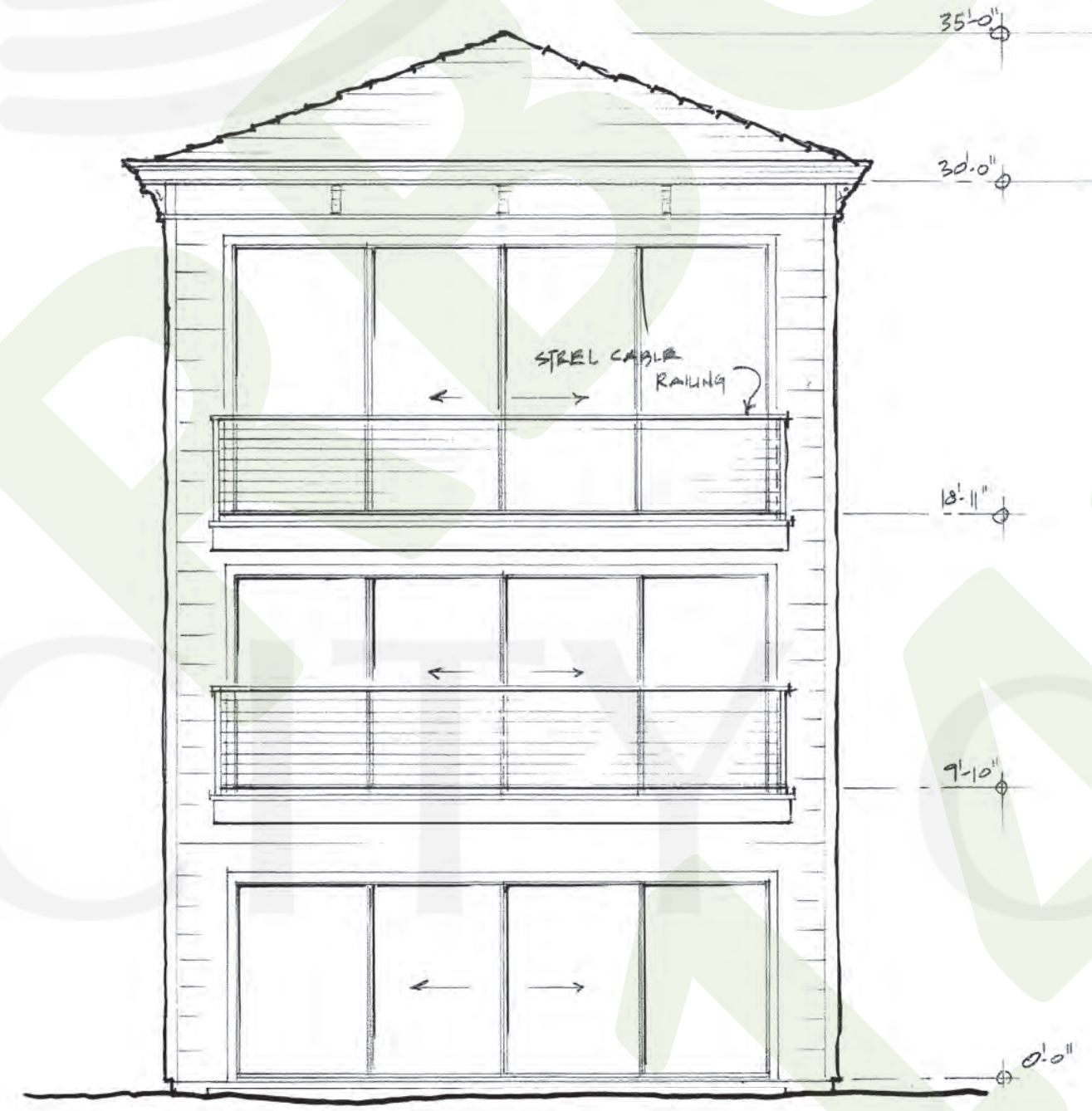
ELECT. MECH. PLUMB. NOT CHECKED
 Date: 12/04/2020



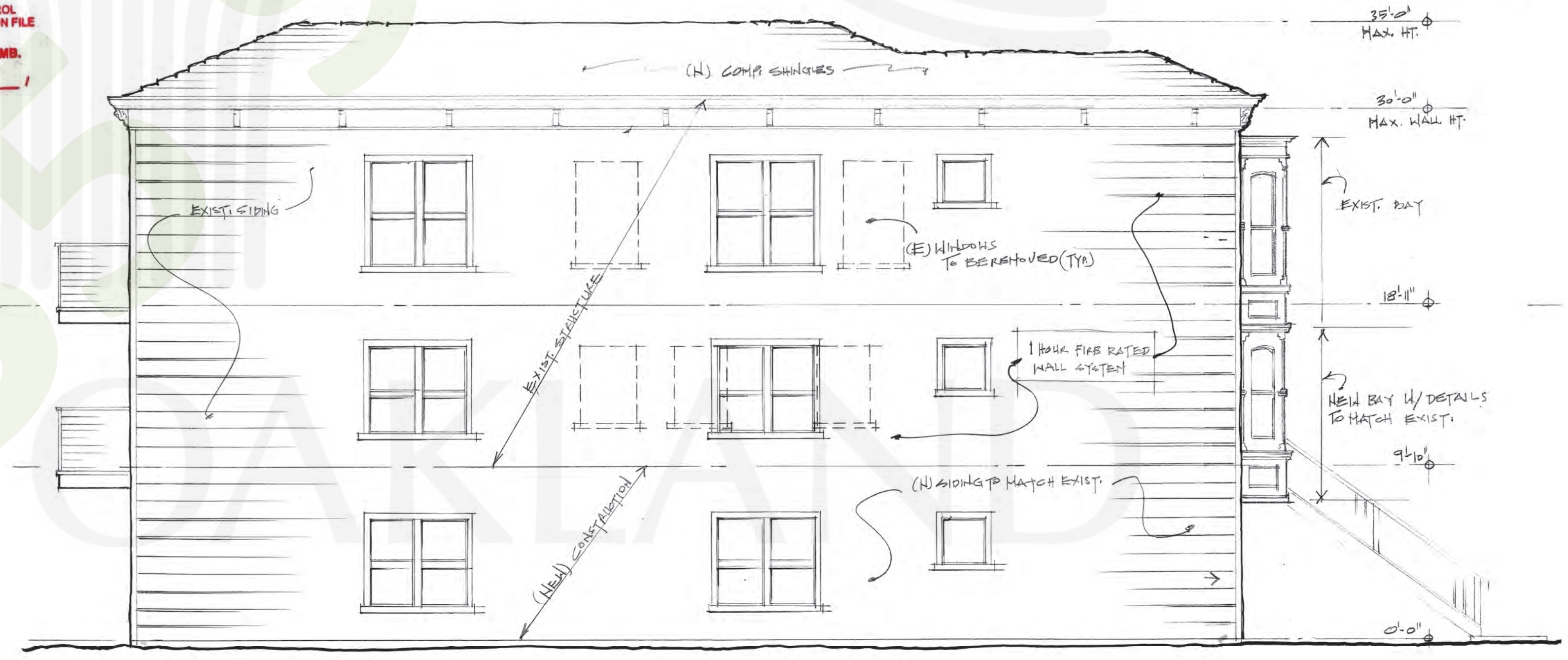
WEST ELEVATION 3/16"=1'-0"

APPROVED
 By Jose M Herrera-Preza at 9:56 am, Dec 28, 2020

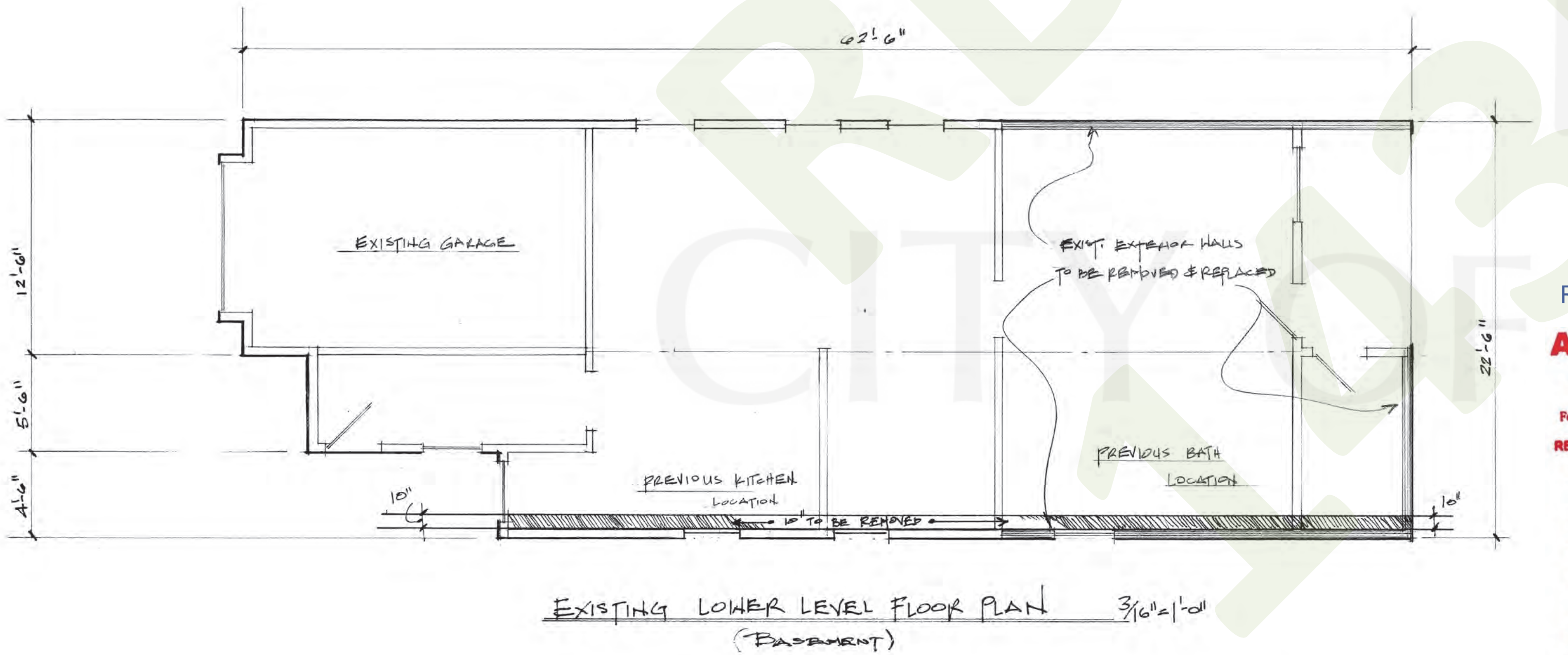
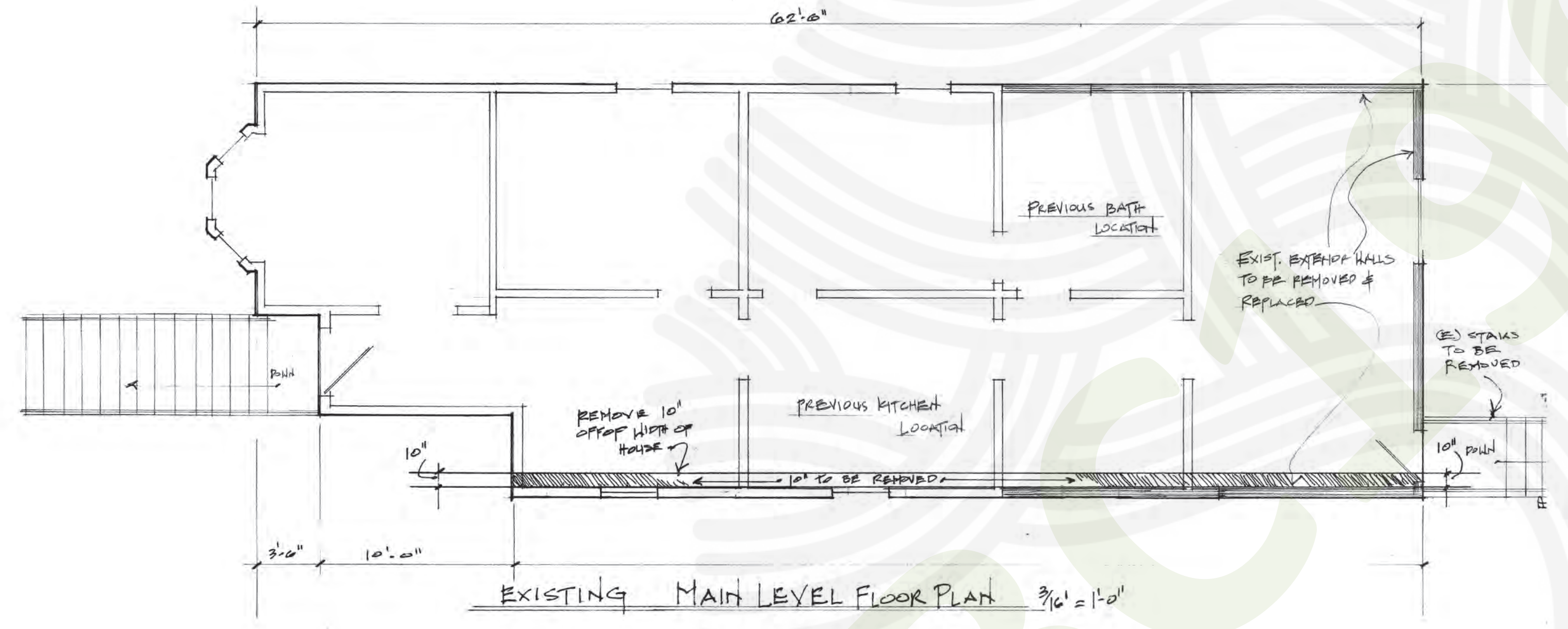
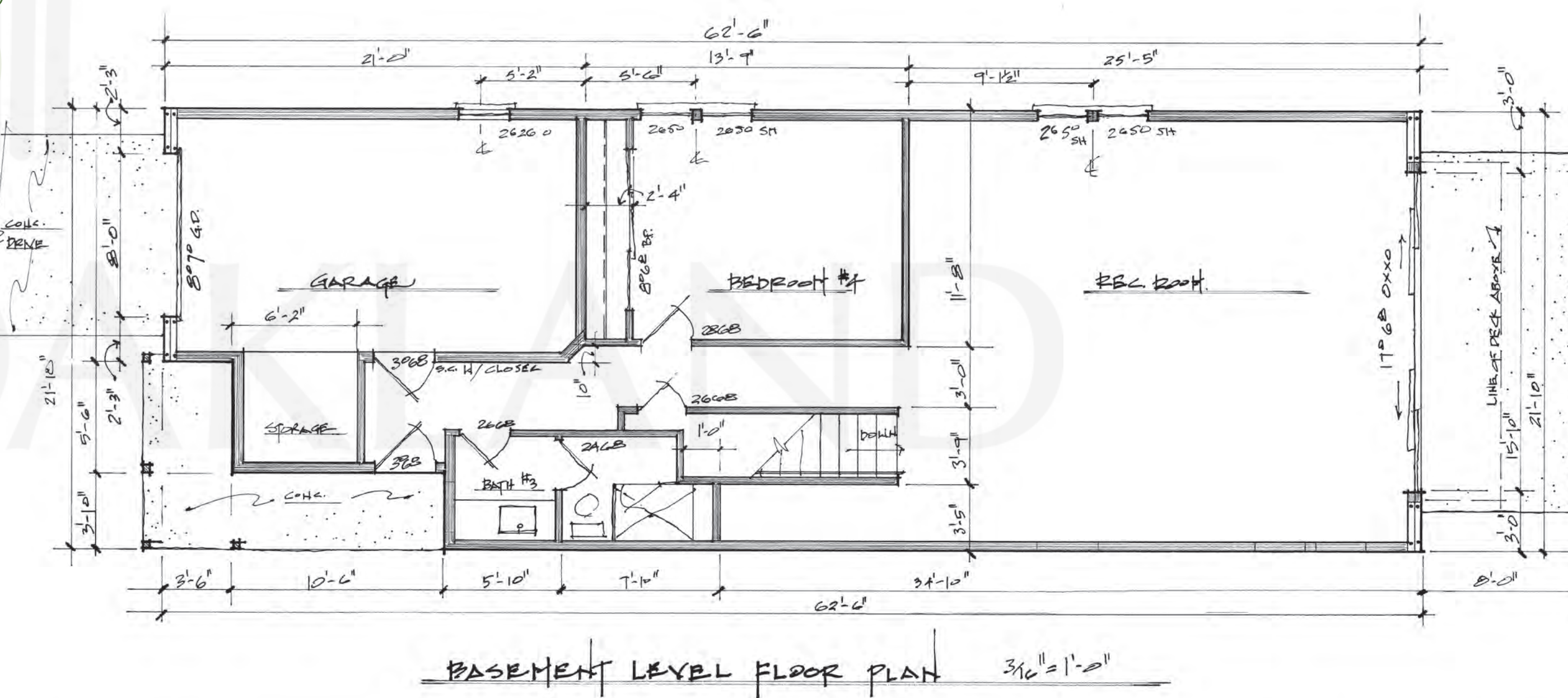
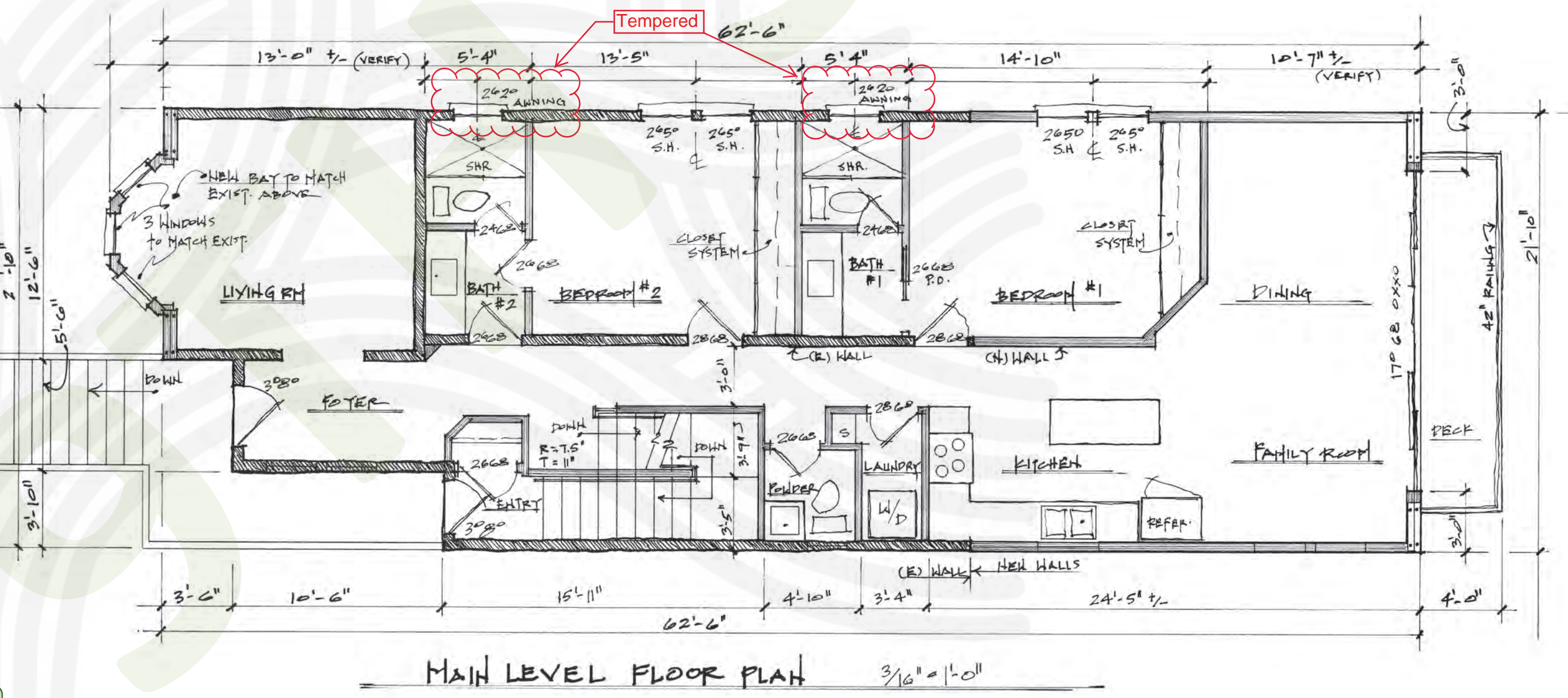
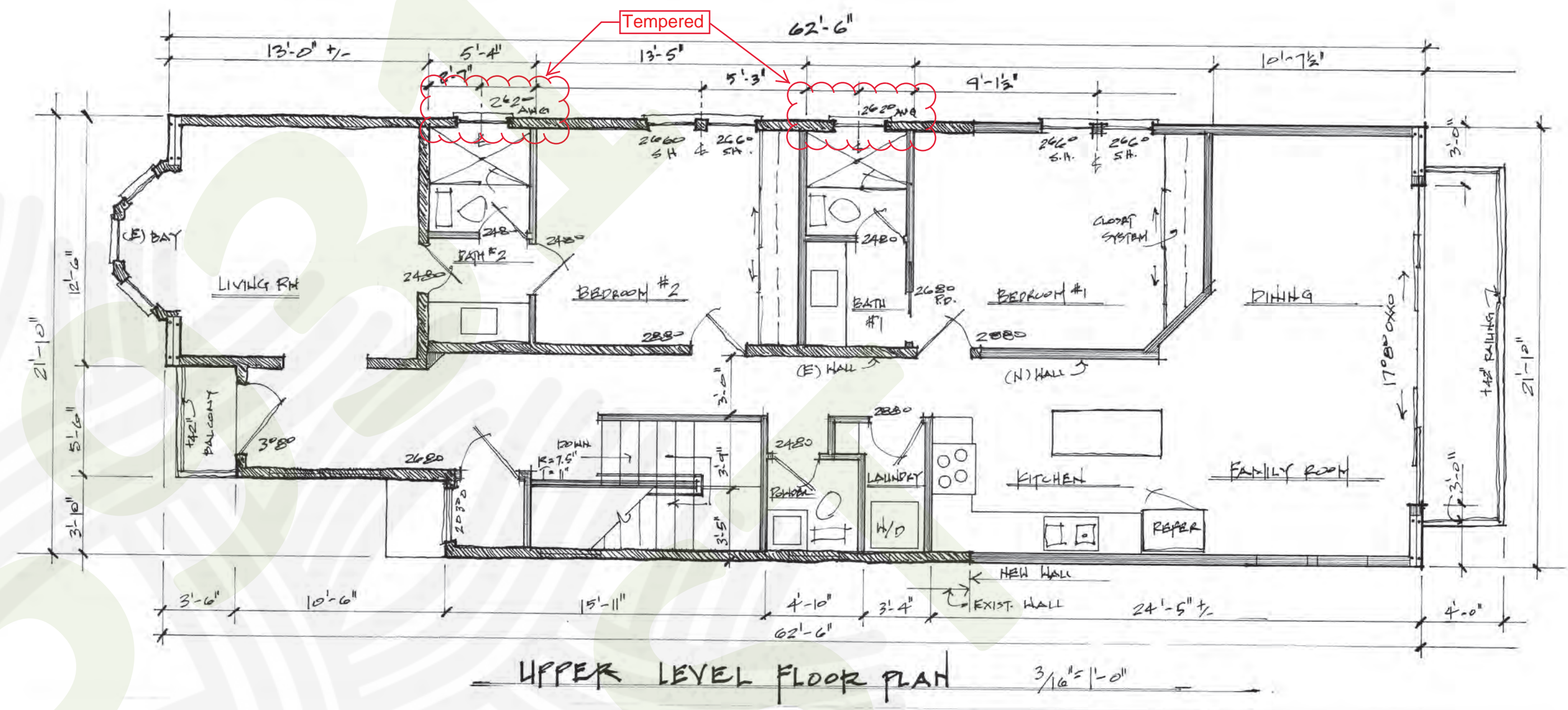
RBC1905931
APPROVED
 CITY OF OAKLAND
 BUREAU OF BUILDING
 PLAN CHECK SECTION
 For Substantial Compliance With
 Codes and Ordinances
 REVISIONS NEED APPROVAL
 By: M. Monroe
 X BUILDING CODE
 SUBJECT TO: 16C 155.4, Sec 107.3,
 CRC Sec 41.02.4 & Sec 41.02.5
 (SURVEY REVIEW ONLY)
 PLOT PLAN REVIEW
 PARKING/LANDSCAPE LAYOUT
 GRADING AND
 EROSION CONTROL
 SOILS REPORT ON FILE
 ELECT. MECH. PLUMB.
 NOT CHECKED
 Date: 12/04/2020



SOUTH ELEVATION 3/16"=1'-0"

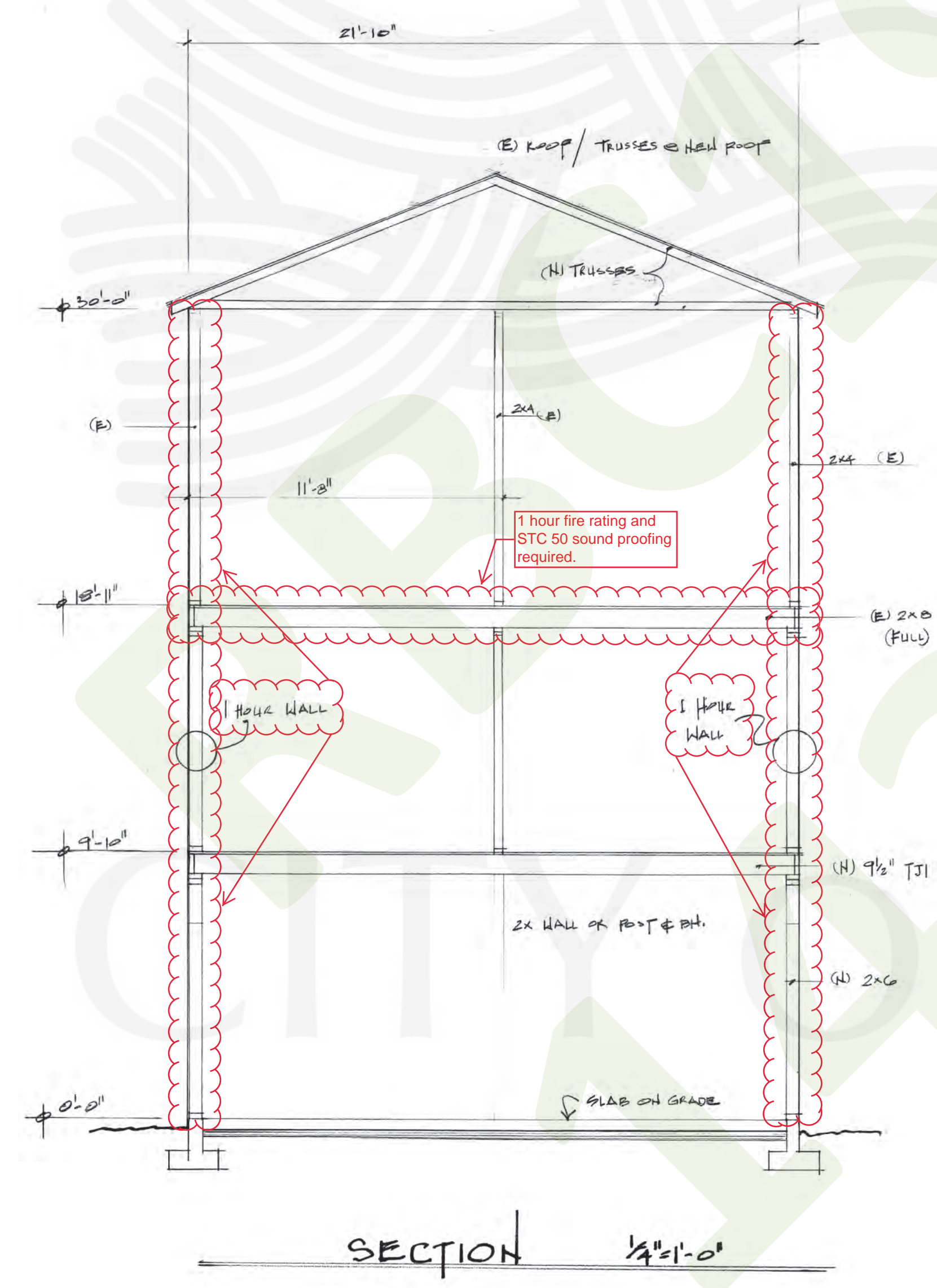
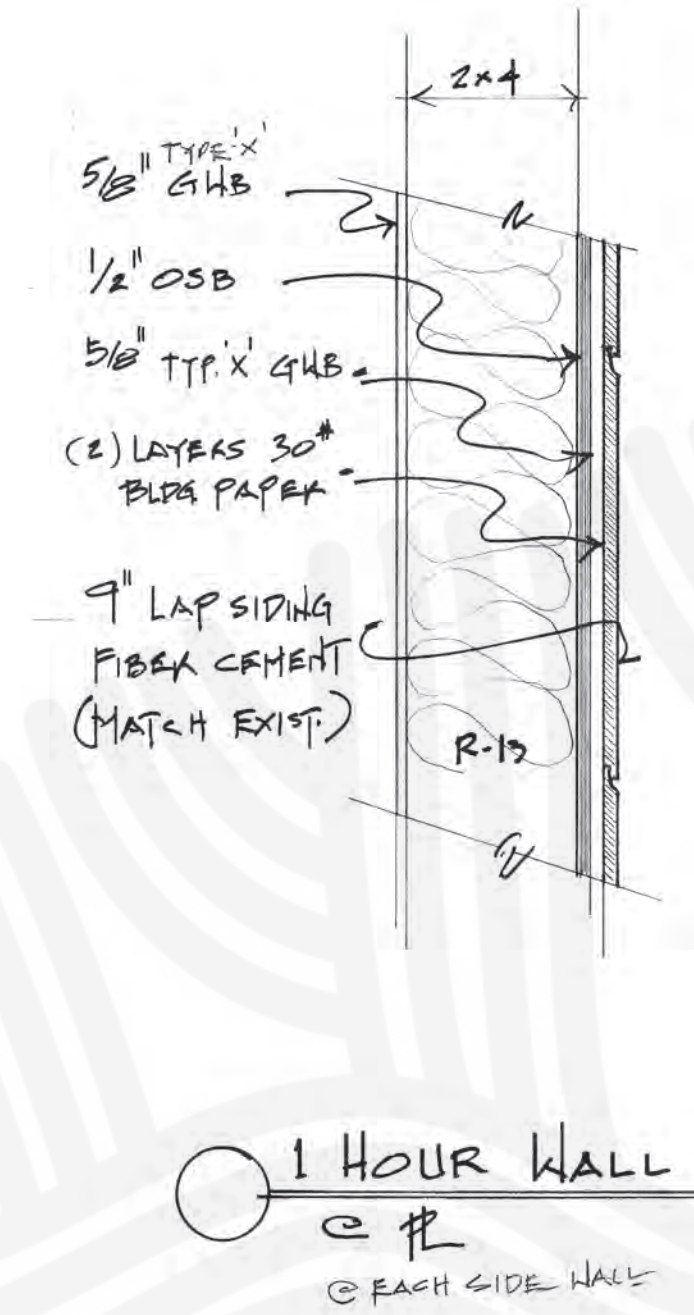
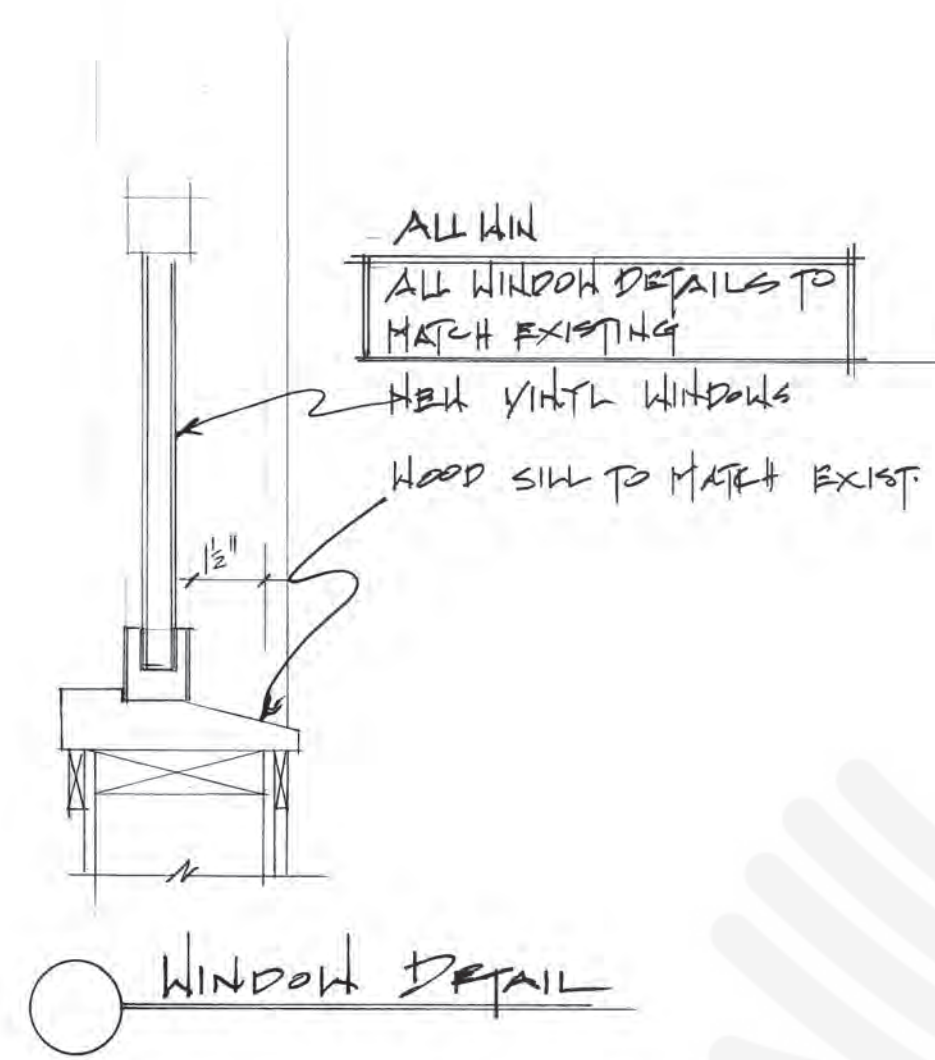


EAST SIDE ELEVATION 3/16"=1'-0"



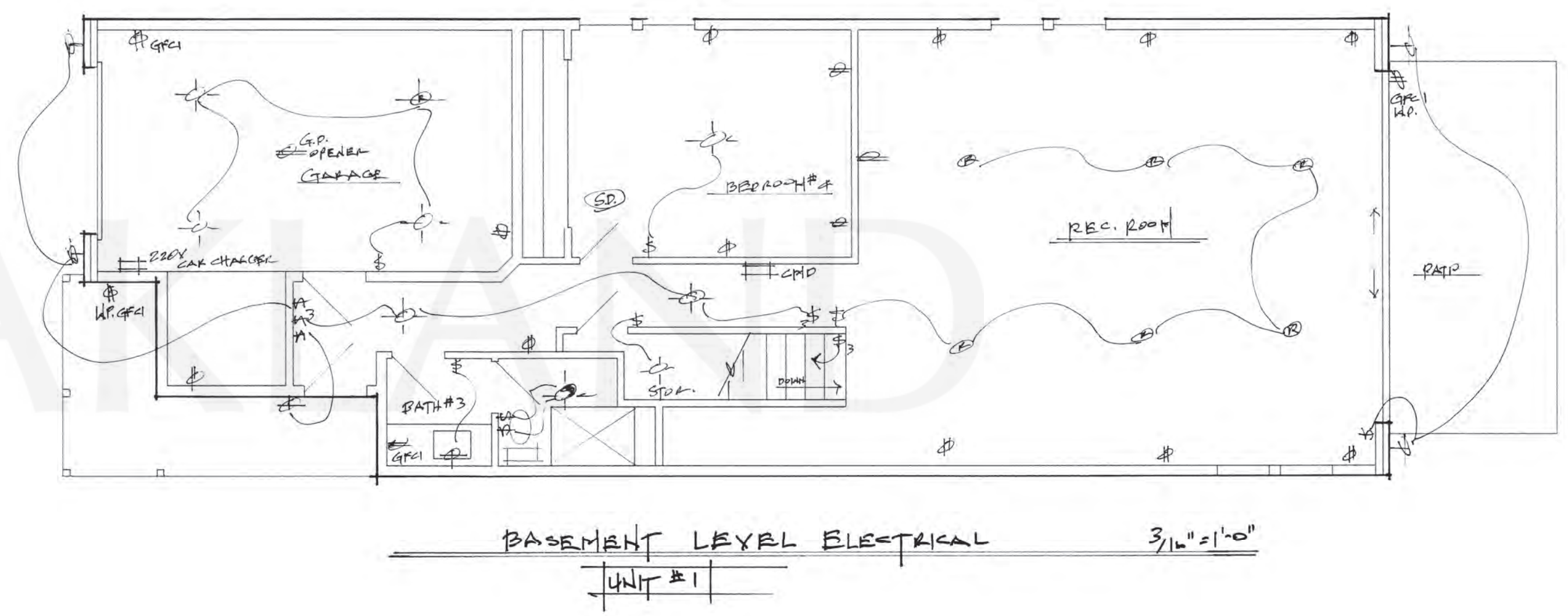
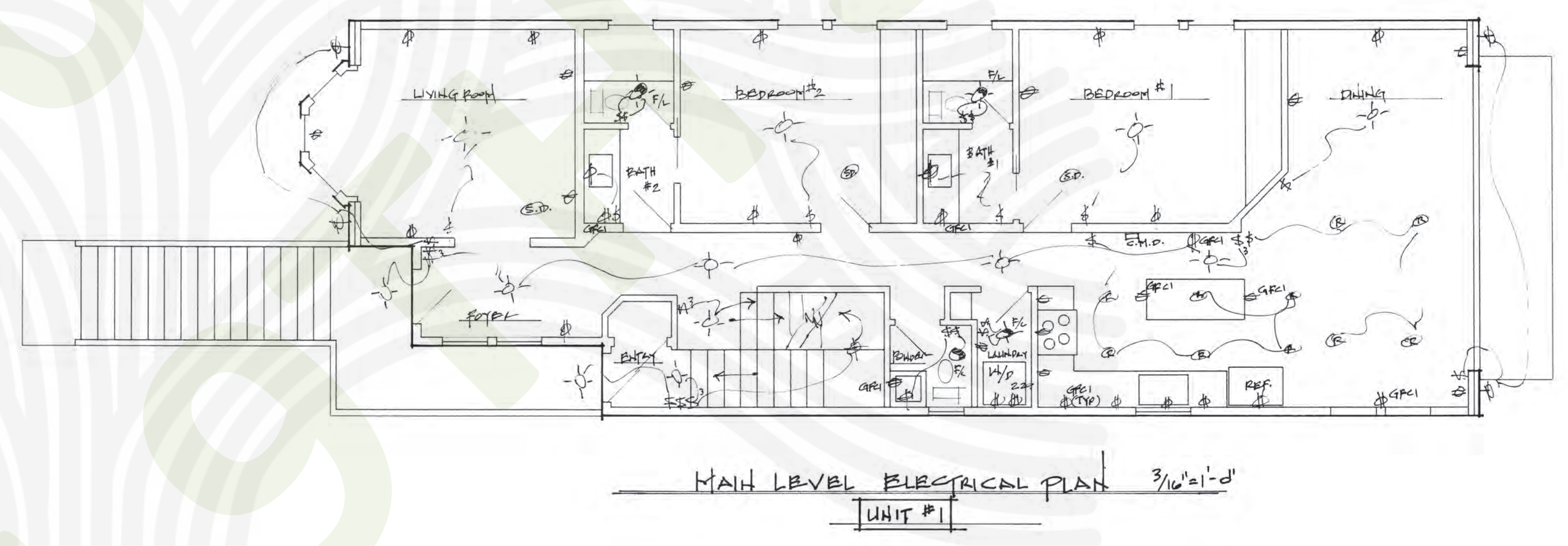
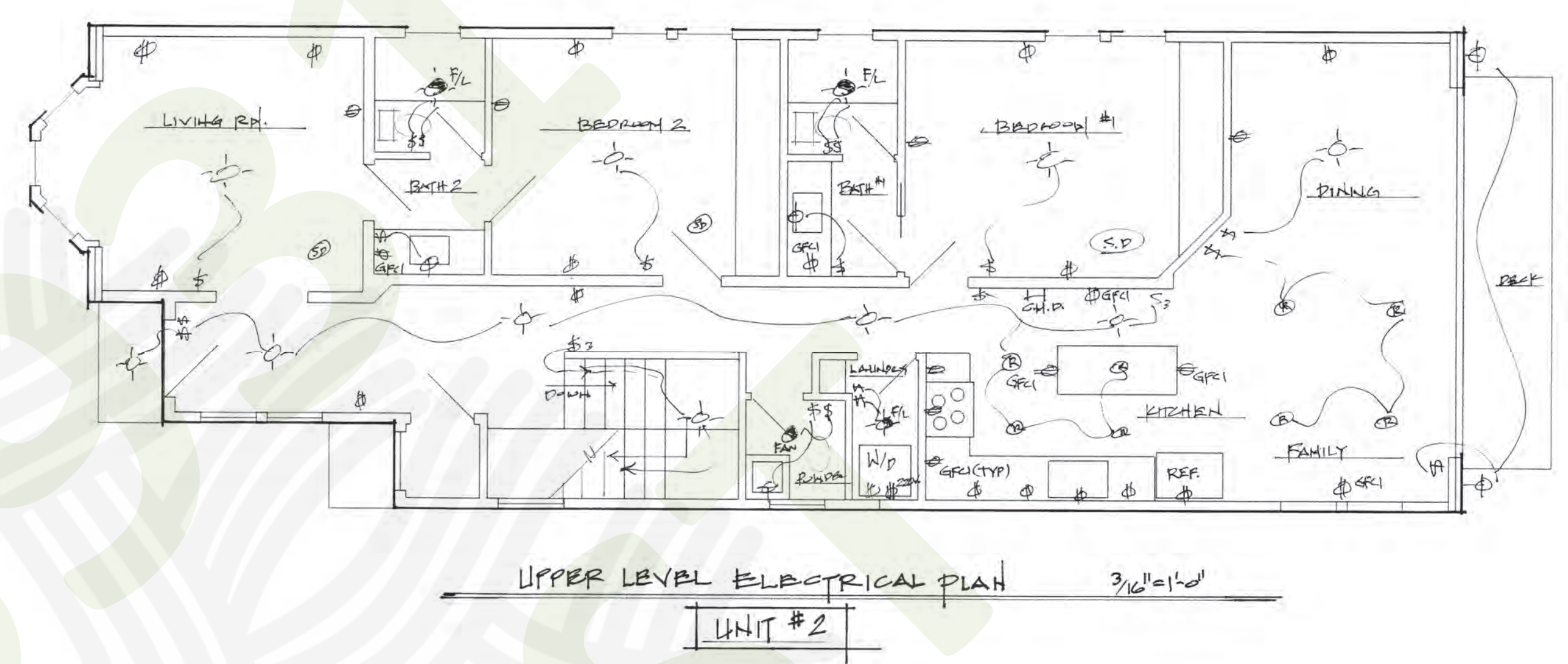
APPROVED
 By Jose M Herrera-Preza at 9:56 am, Dec 28, 2020

RBC1905931
APPROVED
 CITY OF OAKLAND
 BUREAU OF BUILDING
 PLAN CHECK SECTION
 For Substantial Compliance With
 Codes and Ordinances
 REVISIONS NEED APPROVAL
 By: M. Monroe
 X BUILDING CODE
 SUBJECT TO: Sec 105.4, Sec 107.3
 CRC Sec 8100 + 8.540, 8100.2
 SURVEY (REVIEW ONLY)
 PLOT PLAN REVIEW
 PARKING/LANDSCAPE LAYOUT
 GRADING AND
 EROSION CONTROL
 SOILS REPORT ON FILE
 ELECT. MECH. PLUMB.
 NOT CHECKED
 Date: 12/04/2020



APPROVED
By Jose M Herrera-Preza at 9:57 am, Dec 28, 2020

RBC1905931
APPROVED
CITY OF OAKLAND
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PLAN CHECK SECTION
For Substantial Compliance With
Codes and Ordinances
REVISIONS NEED APPROVAL
By: M. Monroe
X BUILDING CODE
SUBJECT TO 101-101 Sec. 109.4, Sec. 109.5,
CRC Sec. 8105 & 8106 R108.3
SURVEY (REVIEW ONLY)
PLOT PLAN REVIEW
PARKING/DWY LAYOUT
GRADING AND
EROSION CONTROL
SOILS REPORT ON FILE
ELECT. MECH. PLUMB.
NOT CHECKED
Date: 12/04/2020



REVISIONS	BY

Engineer:
ST. ONGE & ASSOCIATES
 CIVIL / STRUCTURAL ENGINEERING
 1934 Park Boulevard, Oakland, CA. 94606.
 Ph: (510) 444-1450
 goeng@aol.com
 www.stongeassociates.com



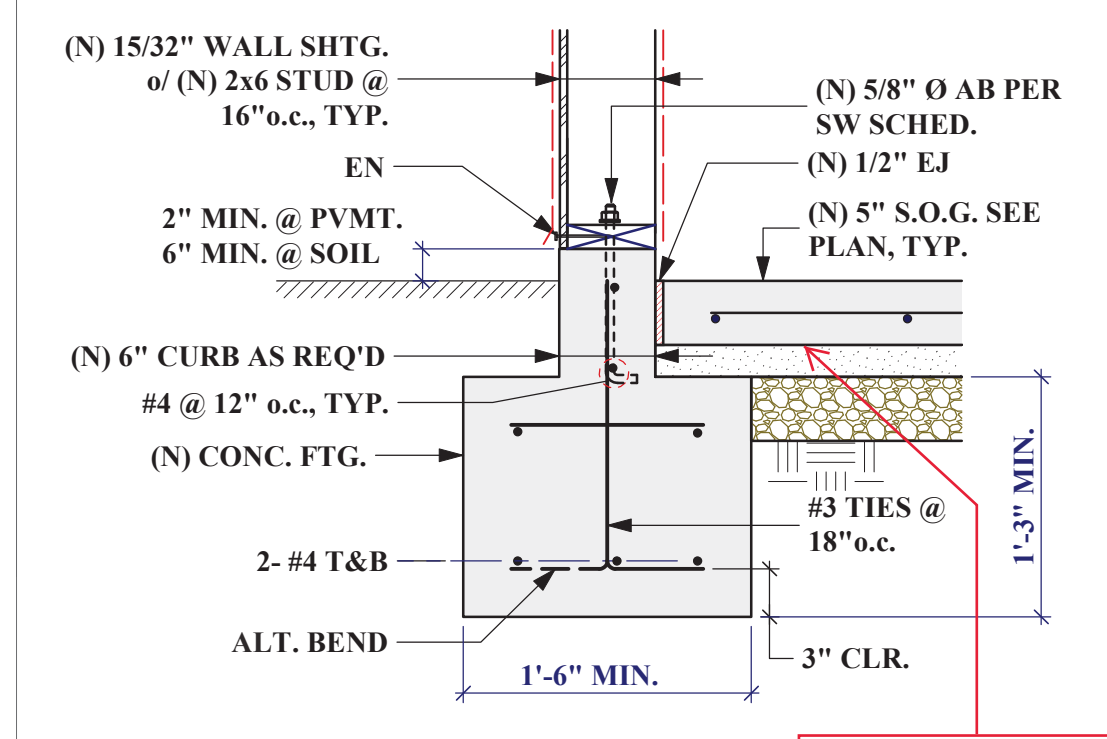
Architect:
 Mike Burgess
 Line and Spaces
 875A Island Drive #221
 Alameda, CA 94502
 Tele: 650-690-4951
 burges.mike@mac.com

Client:
 Sohail Ahmed
 1435 9th Street
 Oakland, CA 94607
 Tele: 203-300-6066
 sotohail@gmail.com

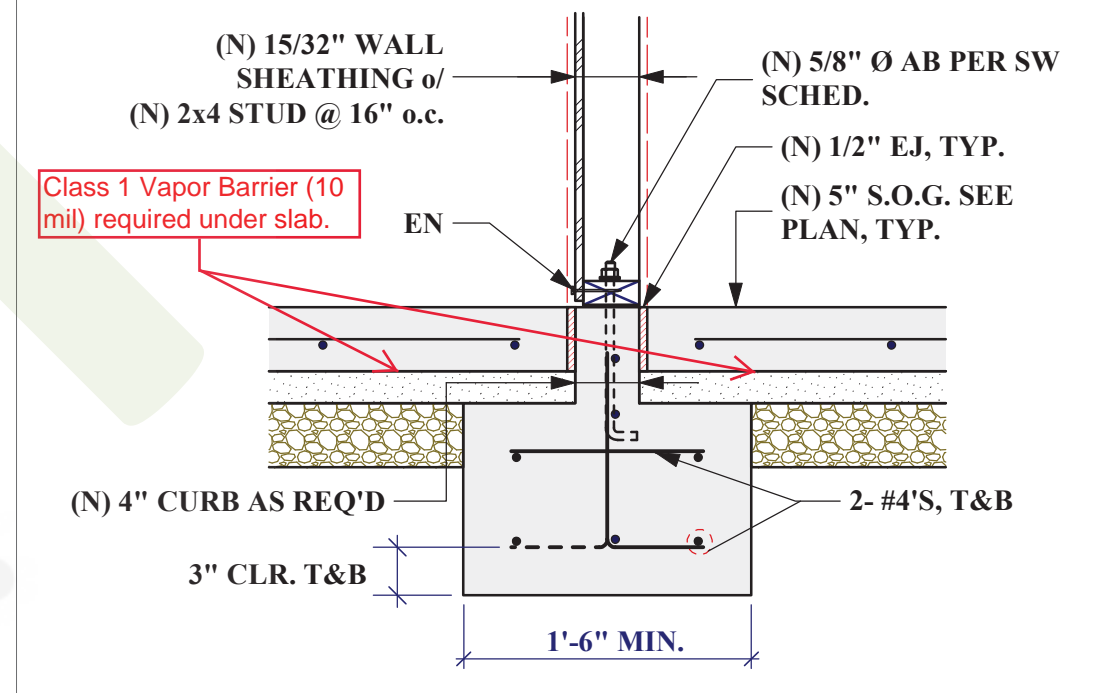
Renovation
 1435 9th Street
 Oakland, CA 94607

BASEMENT & FOUNDATION PLAN, MAIN FLOOR FRAMING PLAN & DETAILS

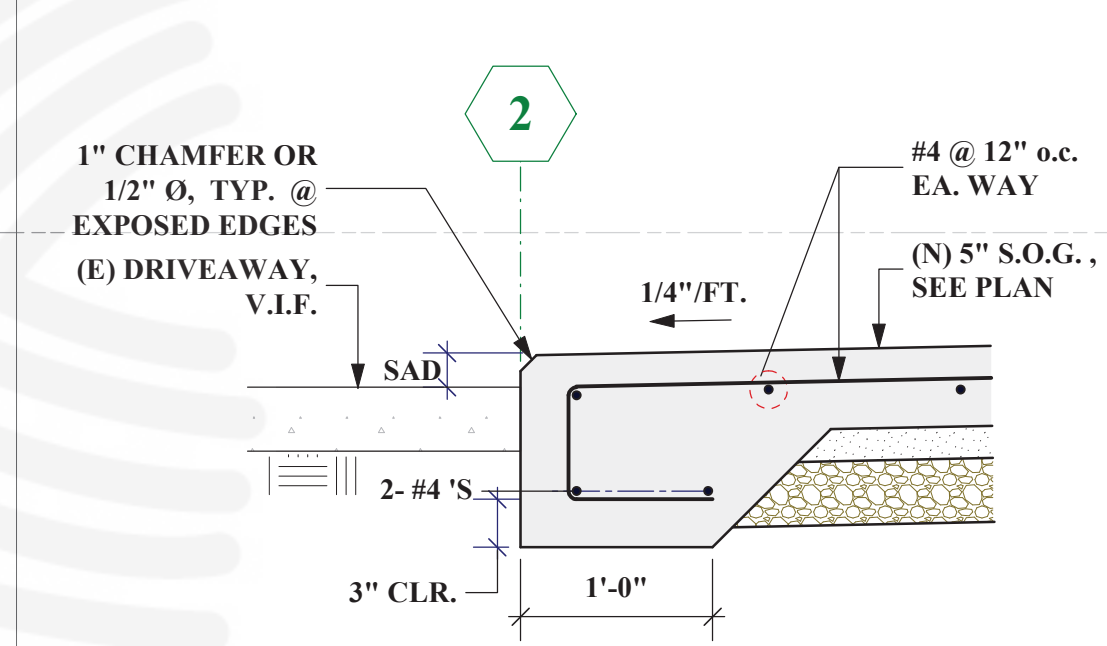
DRAWN
JAC & LBH
 CHECKED
GSO
 DATE
 October 19, 2020
 SCALE
 As Noted
 JOB
1950B
 SHEET
S1
 of 4 sheets



1 SHEAR TRANSFER @ BASEMENT FLOOR, EXTERIOR WALL
 1" = 1'-0"

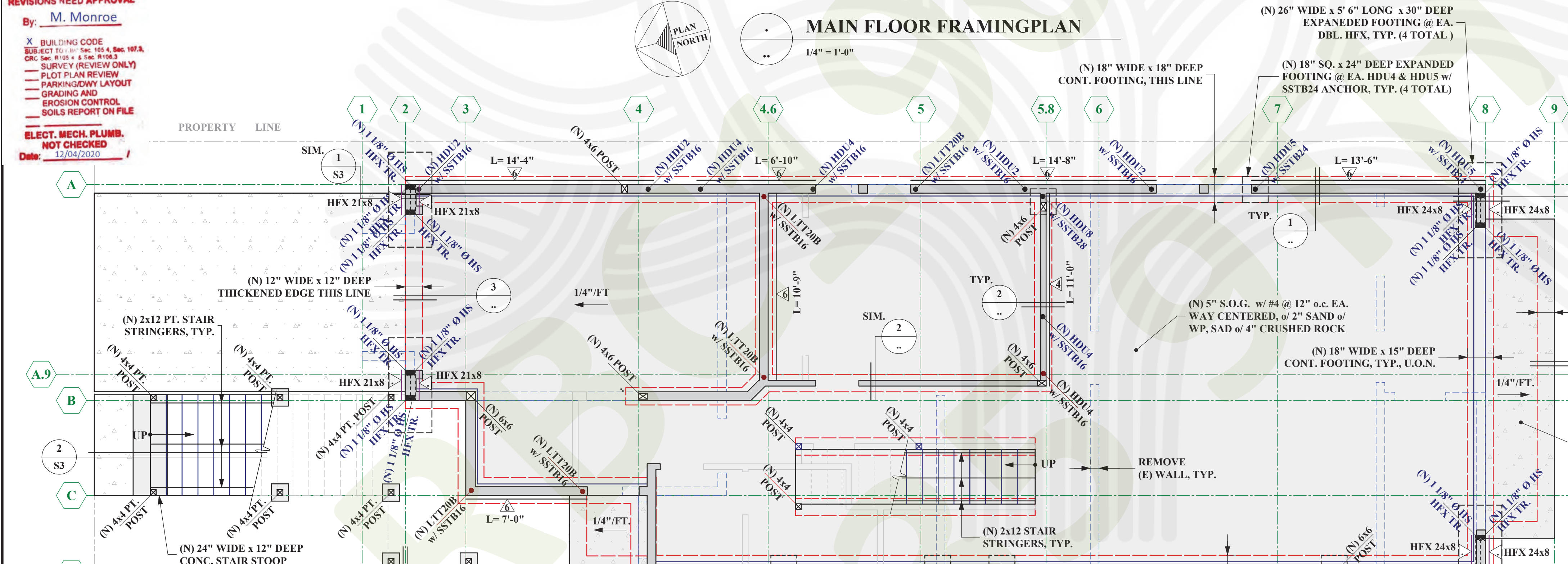
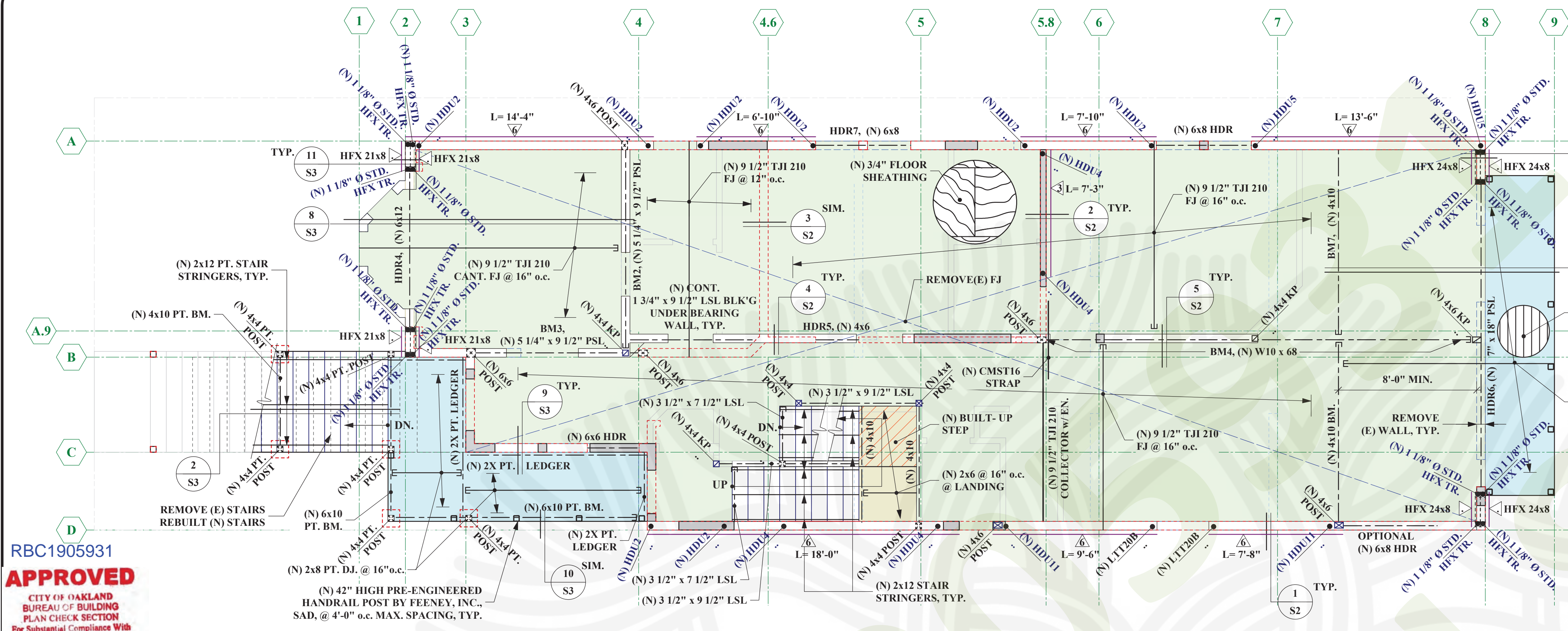


2 SHEAR TRANSFER @ BASEMENT FLOOR, INT. FL. WALL
 1" = 1'-0"

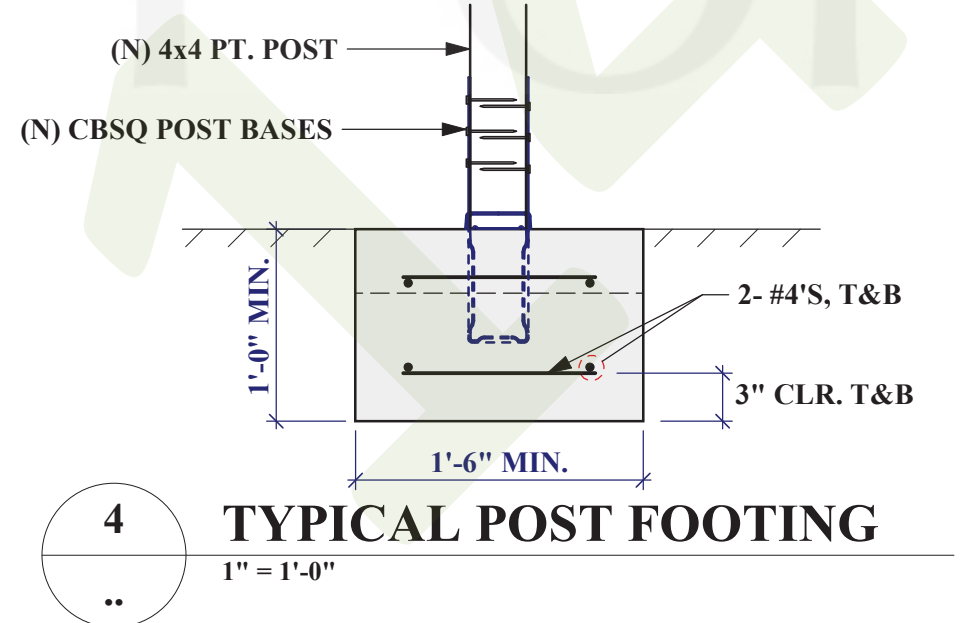


3 SECTION @ (E) DRIVEWAY / (N) GARAGE THICKENED EDGE, LINE 2
 1" = 1'-0"

SHEAR WALL SCHEDULE					
WALL MARK	ALLOWABLE SHEAR LOAD (PLF)	EDGE NAILING	SIMPSON CLIP SIZE & SPACING	SILL PLATE CONNECTION SIZE & SPACING	ANCHOR BOLTS SPACING (NOTE 7)
	310	10d @ 6" o.c.	A35 @ 24" o.c. (ROOF) A35 @ 16" o.c. (FLOOR) OR LTP4 @ 24" o.c. MIN. BOTH	SDS25600 @ 12" o.c.	48" o.c.
	460	10d @ 4" o.c.	A35 @ 12" o.c. OR LTP4 @ 16" o.c.	SDS25600 @ 9" o.c.	36" o.c.
	600	10d @ 3" o.c.	A35 @ 8" o.c. OR LTP4 @ 12" o.c.	SDS25600 @ 6" o.c.	30" o.c.
HFX 21x8	DOUBLE HFX 21x8 [NOM. 8" HIGH x 21" WIDE] HARDY PANEL BY HARDY FRAMES, INC. w/ 1 1/8" Ø STANDARD (STD) OR HIGH STRENGTH (HS) ANCHORS, SEE PLAN.				
HFX 21x8	DOUBLE HFX 21x8 [NOM. 8" HIGH x 21" WIDE] HARDY PANEL BY HARDY FRAMES, INC. w/ 1 1/8" Ø STANDARD (STD) OR HIGH STRENGTH (HS) ANCHORS, SEE PLAN.				
HFX 24x8	DOUBLE HFX 24x8 [NOM. 8" HIGH x 24" WIDE] HARDY PANEL BY HARDY FRAMES, INC. w/ 1 1/8" Ø STANDARD (STD) OR HIGH STRENGTH (HS) ANCHORS, SEE PLAN.				
HFX 24x8	DOUBLE HFX 24x8 [NOM. 8" HIGH x 24" WIDE] HARDY PANEL BY HARDY FRAMES, INC. w/ 1 1/8" Ø STANDARD (STD) OR HIGH STRENGTH (HS) ANCHORS, SEE PLAN.				



LEGEND	
	(N) CONC. AREA
	(N) FLOOR REPLACEMENT AREA
	(N) DECK AREA
	(N) LANDING AREA
	(E) STRUCTURAL WALL ABOVE
	(N) SHEARPLY ON (E) WALL ABOVE
	U.O.N., (N) 2x4 @ 16" o.c. STRUC'L WALL ABOVE
	(N) SHEARPLY o/ (N) STRUCTURAL WALL ABOVE
	(N), OR (E), STRUCTURAL WALL BELOW
	(E) JOIST OR BEAM
	(N) BEAM
	(N) JOIST OR RAFTER
	B.M.I., REF. TO STRUCTURAL CALCULATION
	SAD SEE ARCH. DWGS.
	V.I.F. VERIFY IN FIELD
	(N) HOLDDOWN & ANCHOR SIZE & LOCATION



- NOTES:
- SHEATHING: 15/32" DOUGLAS FIR APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-1. AT CONTRACTOR'S OPTION, SHEATHING MAY BE INSTALLED ON OPPOSITE SIDE OF WALL AS INDICATED.
 - STUDS SHALL BE AT 16" O.C. MAXIMUM
 - FIELD NAILING SHALL BE 12" O.C.
 - BLOCK & NAIL ALL SHEATHING EDGES.
 - ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING OR BLOCKING.
 - USE 3x OR DBL 2x'S MIN. AT FOUNDATION SILL PLATE AND FOR ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING WALLS WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF. ALL EDGE NAILING AT ADJOINING PANEL EDGES SHALL BE STAGGERED.
 - ALL WET SET ANCHOR BOLTS SHALL BE 5/8" Ø x 12" w/ 7" MIN. EMBEDMENT AT CONTRACTOR'S OPTION, URFP OR 5/8"x8" TITEN HD MAY SUBSTITUTE FOR ANCHOR BOLTS SHOWN, PROVIDE THE SAME SPACING AS PER SCHEDULE. USE 3" SQ. x 1/4" PLATE WASHER W/ DIAGONALLY SLOTTED HOLE.

RBC1905931
APPROVED
 CITY OF OAKLAND
 BUREAU OF BUILDING
 PLAN CHECK SECTION
 For Substantial Compliance With
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 By: M. Monroe
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Printed: October 19, 2020
 File: 191115_1435_9th_Street_1950B.rvt
 Plot: 191115_1435_9th_Street_1950B.rvt

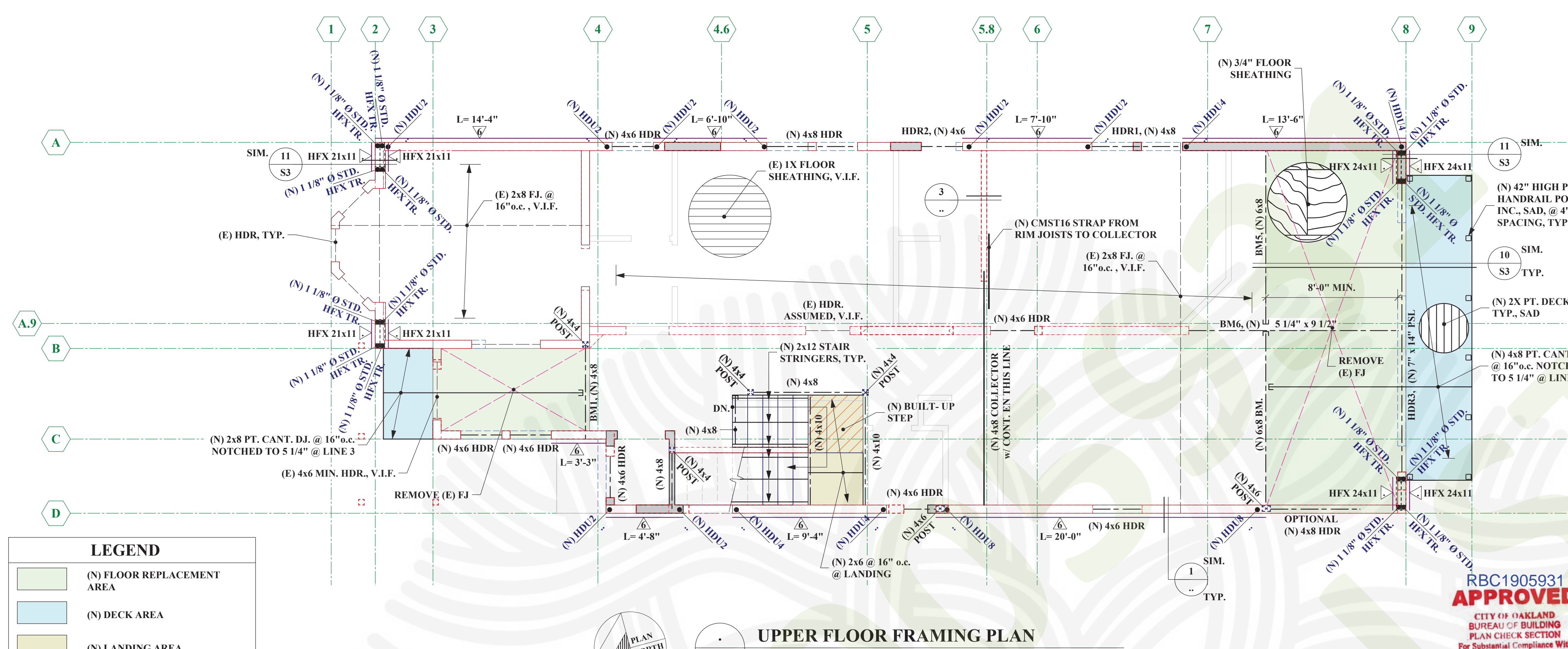


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UPPER FLOOR FRAMING PLAN, ROOF FRAMING PLAN & DETAILS



LEGEND

- (N) FLOOR REPLACEMENT AREA
- (N) DECK AREA
- (N) LANDING AREA
- (N) PITCHED ROOF AREA
- (N) FLAT ROOF AREA
- (E) STRUCTURAL WALL ABOVE
- (N) SHEARPLY ON (E) WALL ABOVE
- U.O.N., (N) 2x4 @ 16" o.c. STRUC'L WALL ABOVE
- (N) SHEARPLY o/ (N) STRUCTURAL WALL ABOVE
- (N), OR (E), STRUCTURAL WALL BELOW
- (E) JOIST OR BEAM
- (N) BEAM
- (N) JOIST OR RAFTER
- BMI, REF. TO STRUCTURAL CALCULATION
- SAD SEE ARCH. DWGS.
- V.I.F. VERIFY IN FIELD
- (N) HD/2 (N) HOLDDOWN & ANCHOR SIZE & LOCATION

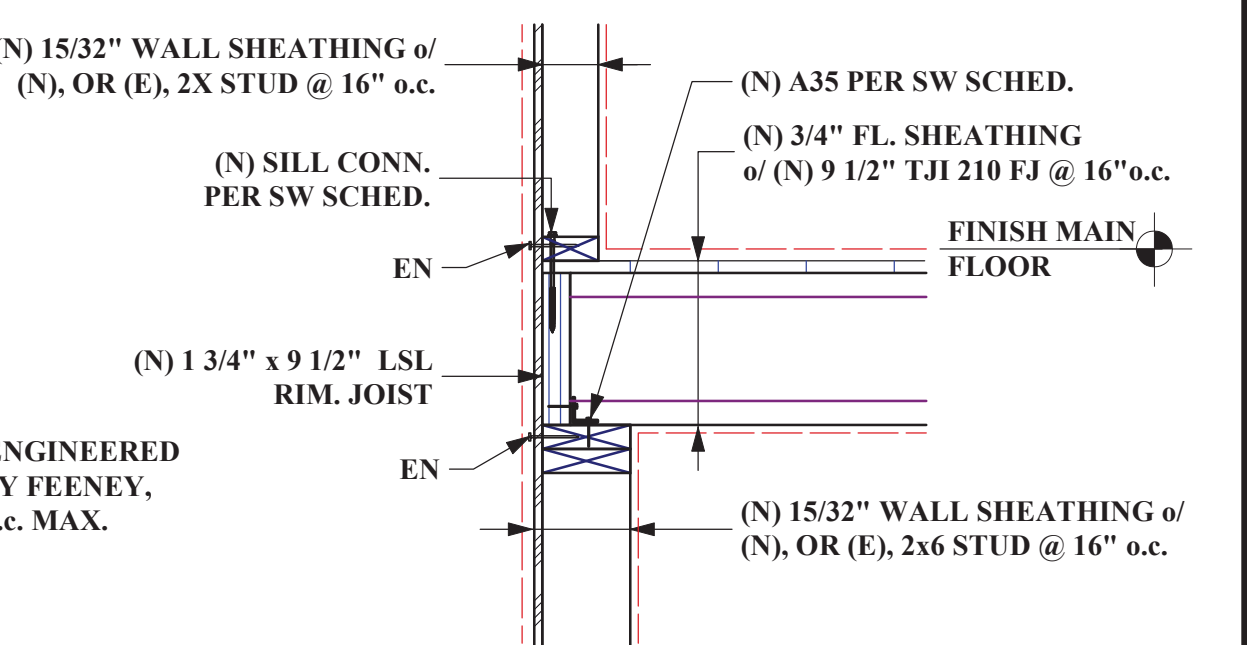
SHEAR WALL SCHEDULE

WALL MARK	ALLOWABLE SHEAR LOAD (PLF)	EDGE NAILING	SIMPSON CLIP SIZE & SPACING	SILL PLATE CONNECTION SIZE & SPACING	ANCHOR BOLTS SPACING (NOTE 7)
HFX 21x11	310	10d @ 6" o.c.	A35 @ 24" o.c. (ROOF) A35 @ 16" o.c. (FLOOR) OR LTP4 @ 24" o.c. MIN. BOTH	SDS25600 @ 12" o.c.	48" o.c.
HFX 21x11			DOUBLE HFX 21x11 [NOM. 11" HIGH x 21" WIDE] HARDY PANEL BY HARDY FRAMES, INC. w/ 1 1/8" O STANDARD ANCHORS.		
HFX 24x11			DOUBLE HFX 24x11 [NOM. 11" HIGH x 24" WIDE] HARDY PANEL BY HARDY FRAMES, INC. w/ 1 1/8" O STANDARD ANCHORS.		

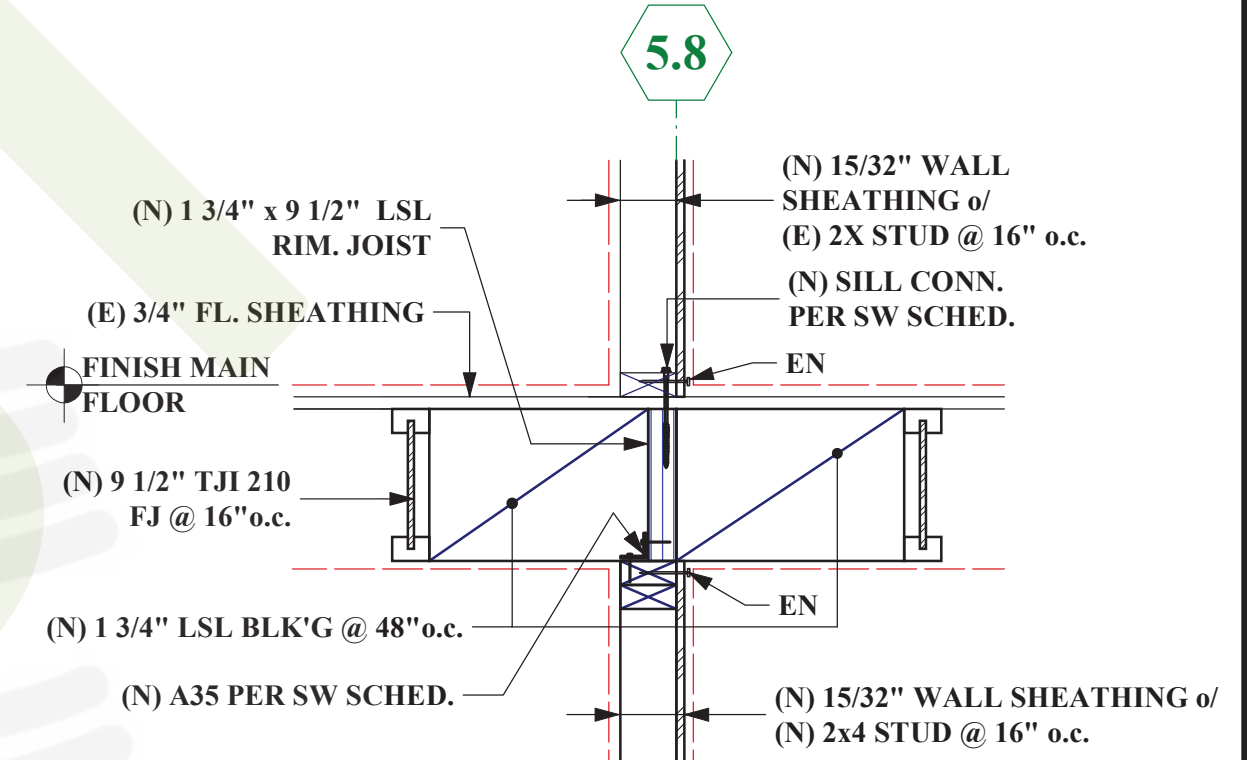
- NOTES:**
1. SHEATHING: 15/32" DOUGLAS FIR APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-1. AT CONTRACTOR'S OPTION, SHEATHING MAY BE INSTALLED ON OPPOSITE SIDE OF WALL AS INDICATED.
 2. STUDS SHALL BE AT 16" O.C. MAXIMUM
 3. FIELD NAILING SHALL BE 12" O.C.
 4. BLOCK & NAIL ALL SHEATHING EDGES.
 5. ALL SHEATHING SHALL BE SPLICED AT CENTERLINE OF FRAMING OR BLOCKING.
 6. USE 3x OR DBL 2x's MIN. AT FOUNDATION SILL PLATE AND FOR ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF. ALL EDGE NAILING AT ADJOINING PANEL EDGES SHALL BE STAGGERED.
 7. ALL WET SET ANCHOR BOLTS SHALL BE 5/8" O x 12" w/ 7" MIN. EMBEDMENT AT CONTRACTORS OPTION, URFP OR 5/8"x8" TITEN HD MAY SUBSTITUTE. FOR ANCHOR BOLTS SHOWN, PROVIDE THE SAME SPACING AS PER SCHEDULE. USE 3" SQ. x 1/4" PLATE WASHER W/ DIAGONALLY SLOTTED HOLE.

UPPER FLOOR FRAMING PLAN
1/4" = 1'-0"

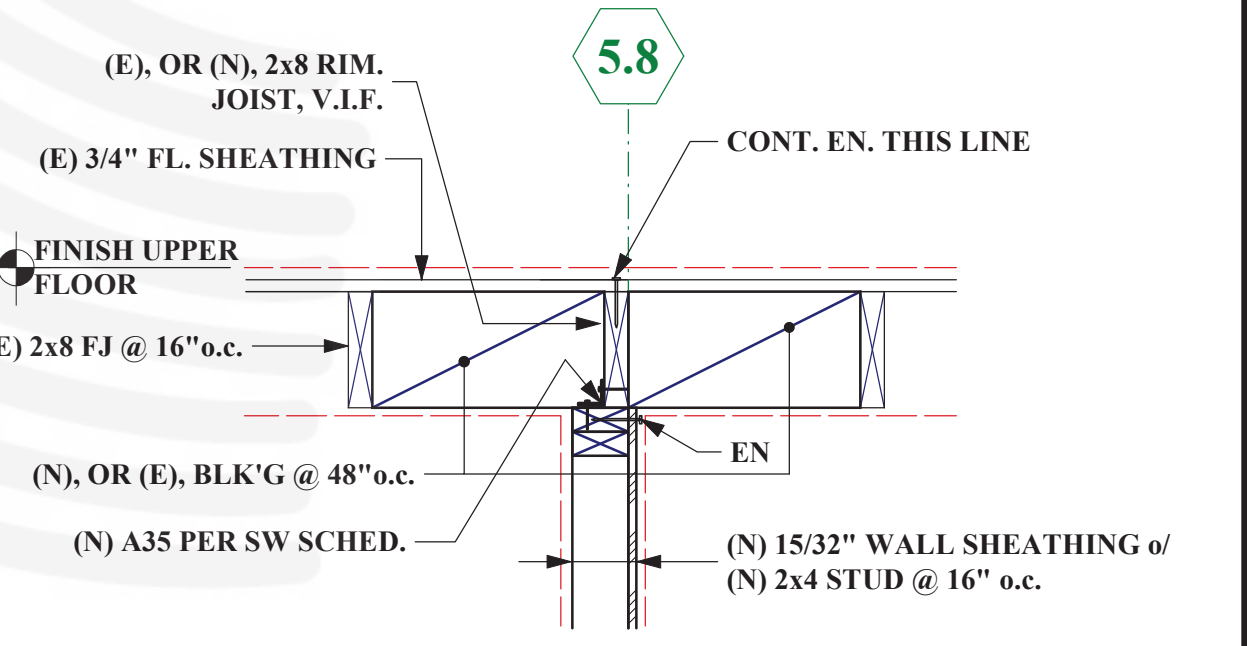
ROOF FRAMING PLAN
1/4" = 1'-0"
NOTE: SAD FOR ROOF DRAINAGE.



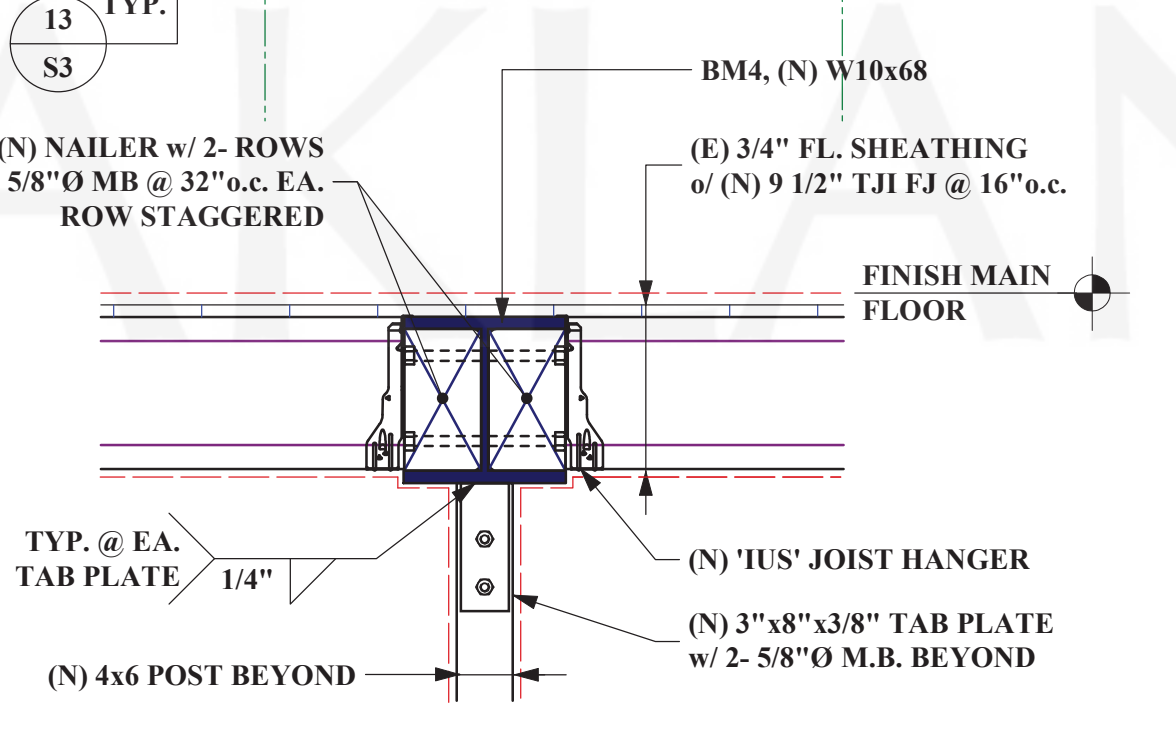
1 TYP. SHEAR TRANSFER @ MAIN FL. JOISTS ⊥ TO EXT. WALL
1" = 1'-0"



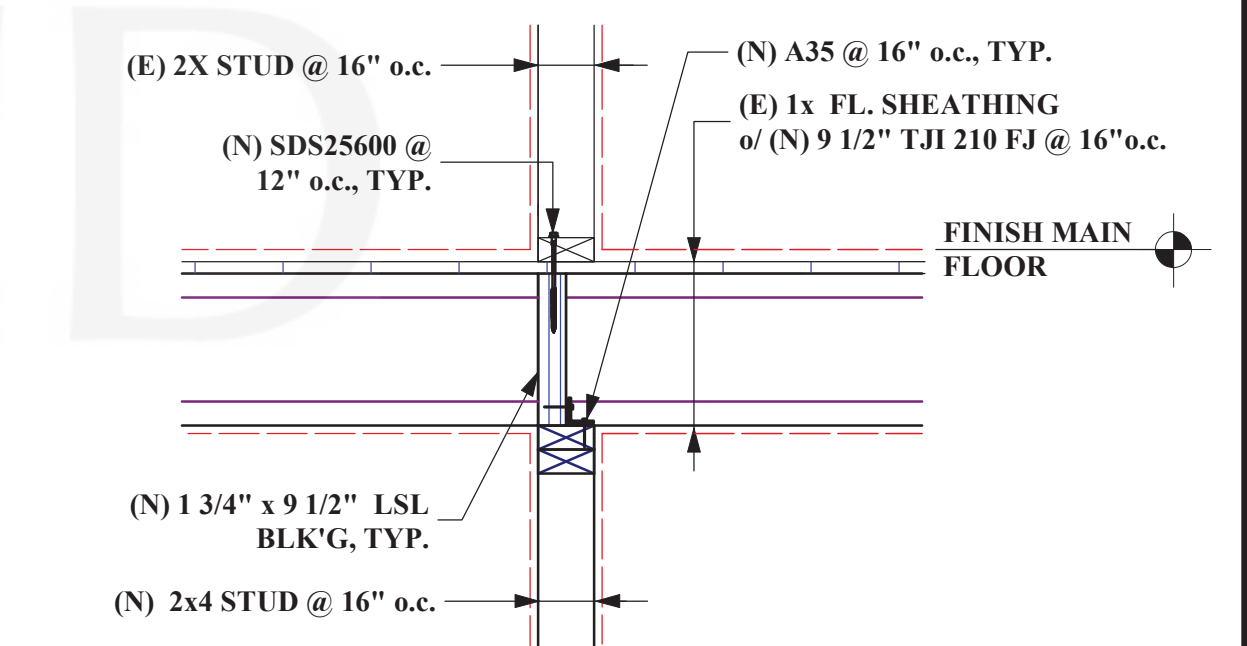
2 TYP. SHEAR TRANSFER @ MAIN FL. JOISTS || TO INT. WALL
1" = 1'-0"



3 TYP. SHEAR TRANSFER @ MAIN FL. JOISTS || TO INT. WALL
1" = 1'-0"

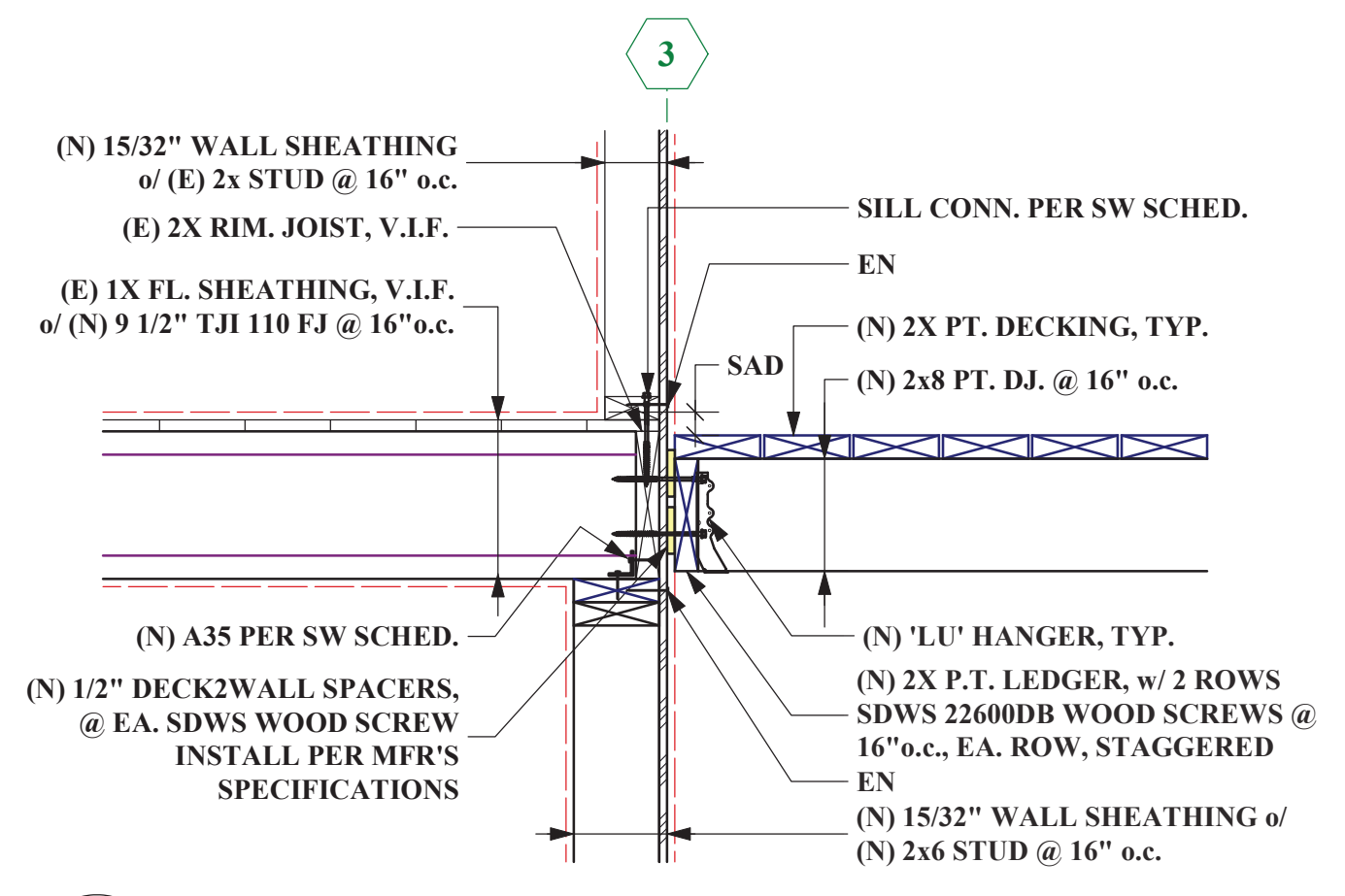


5 SCETION @ (N) STEEL BEAM
1" = 1'-0"

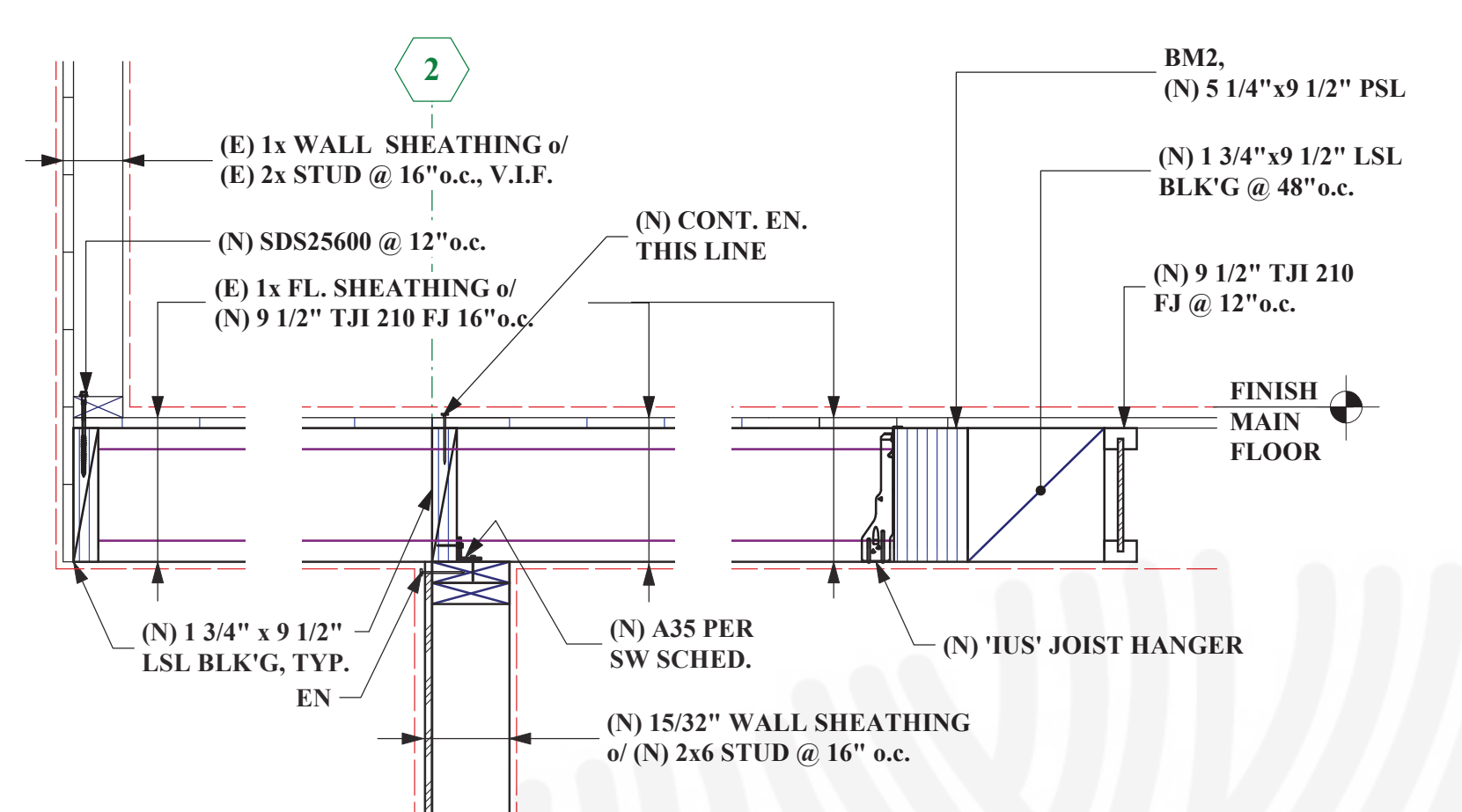


4 SCETION @ INT. BEARING WALL @ MAIN FL. JOISTS ⊥ TO INT. WALL
1" = 1'-0"

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9 SECTION @ (E) FLOOR & (N) DECK, LINE 3
 1" = 1'-0"
 NOTE: SAD FOR WATERPROOFING.

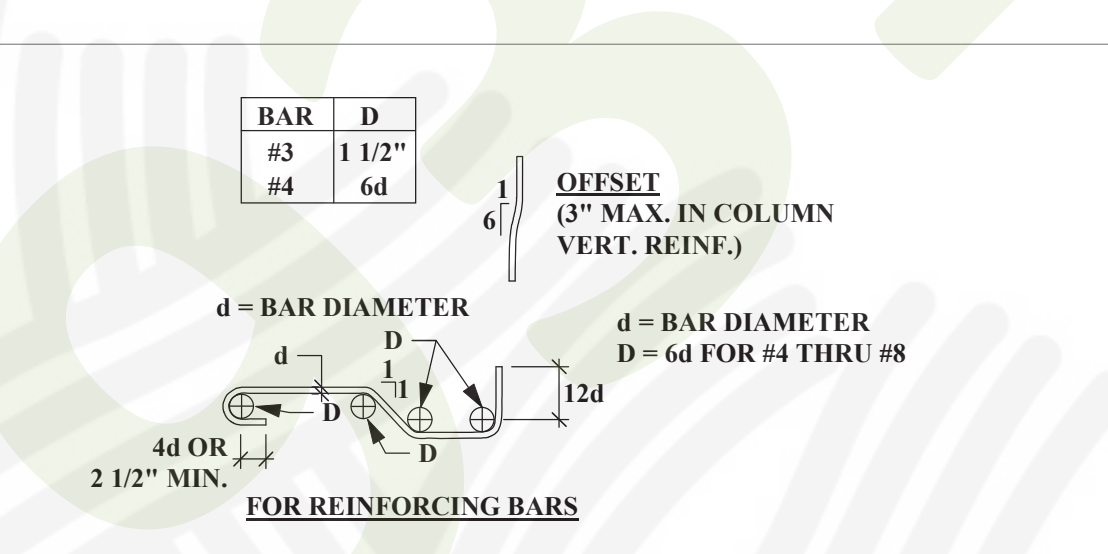


8 SECTION @ CANTILEVERED MAIN FLOOR, LINE 2
 1" = 1'-0"

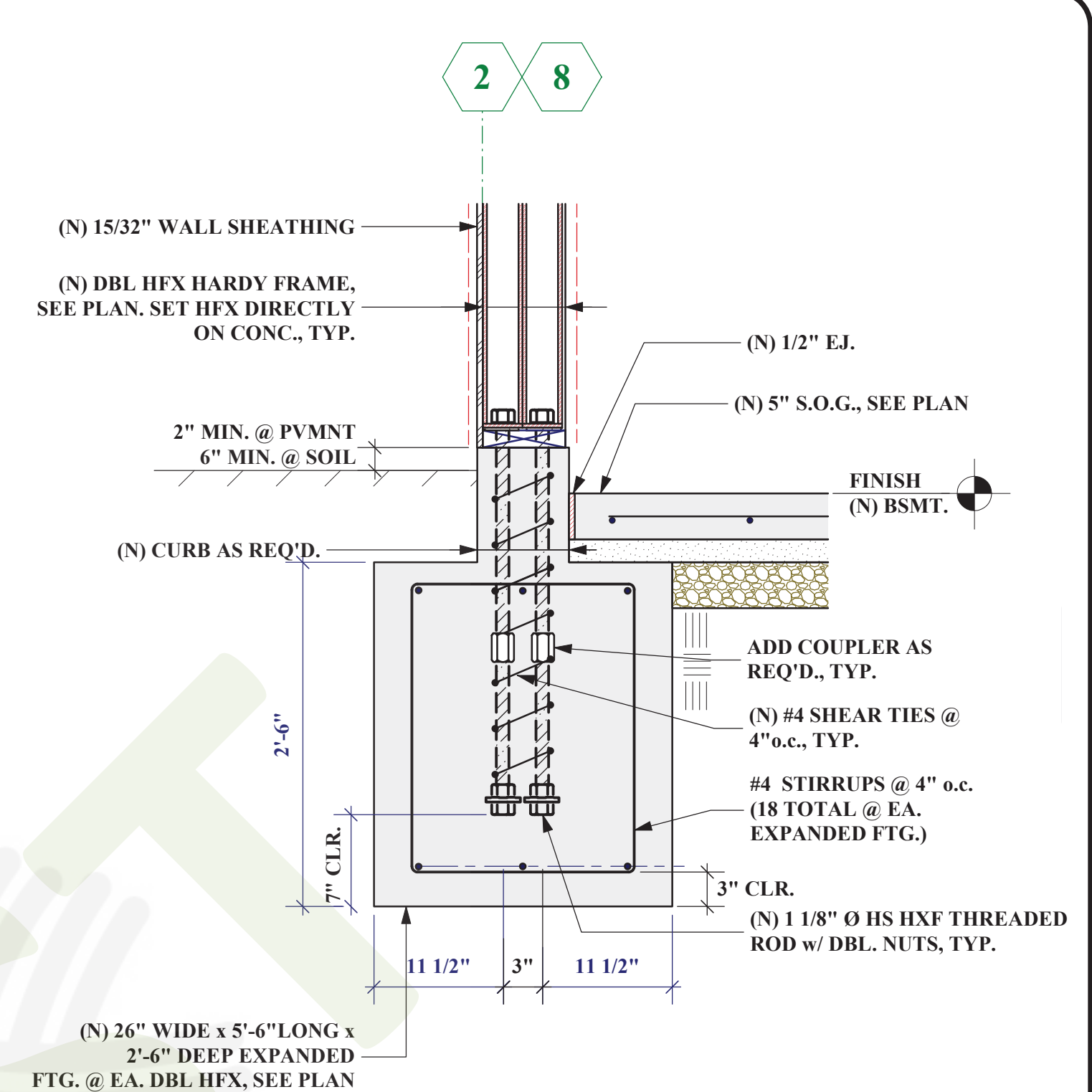
TENSION LAP SPLICE SCHEDULE

BAR SIZE	HARDROCK CONCRETE	
	HORIZ. SLAB BARS	GRADE BEAMS
#3	25"	31"
#4	32"	41"

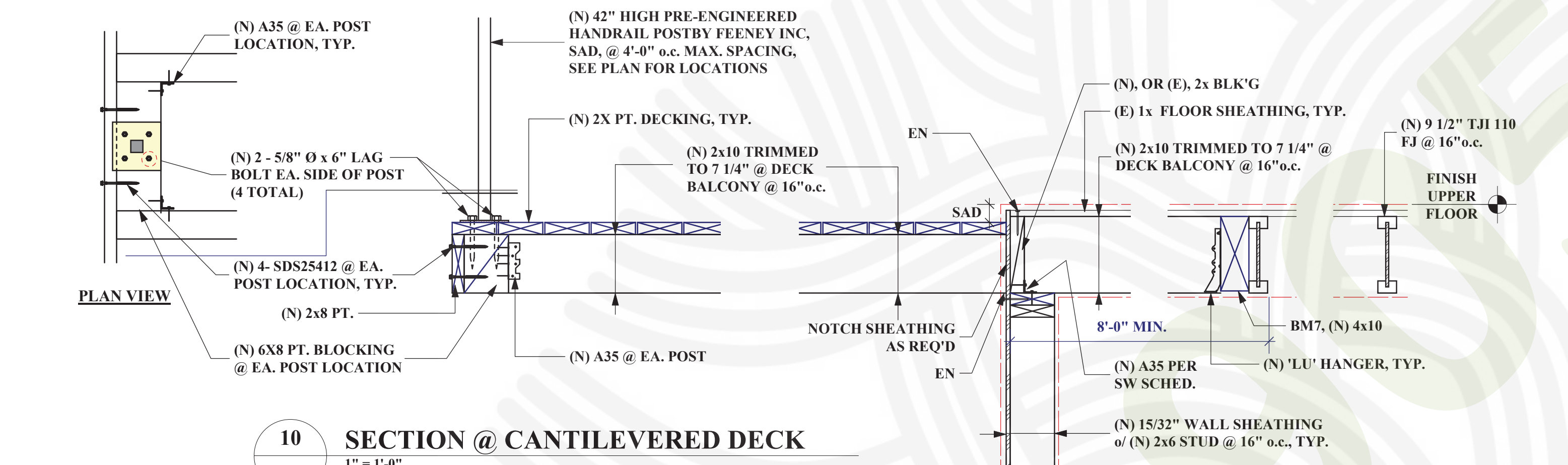
4 TENSION LAP SPLICE SCHEDULE
 NTS



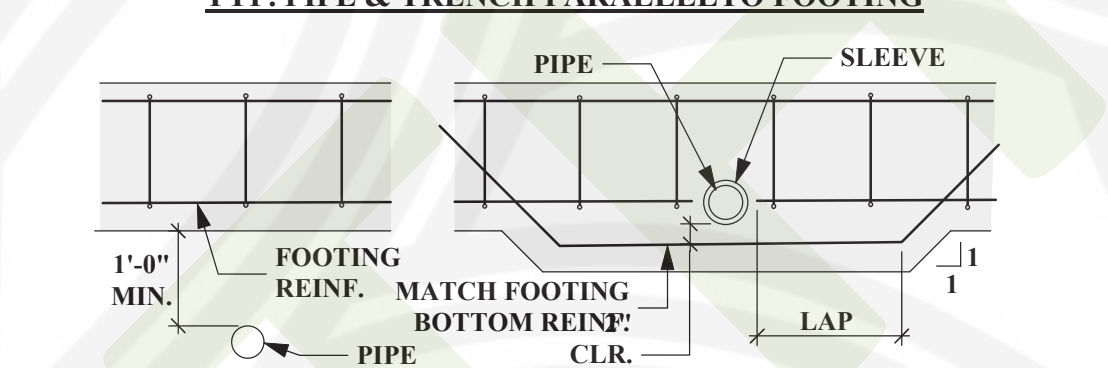
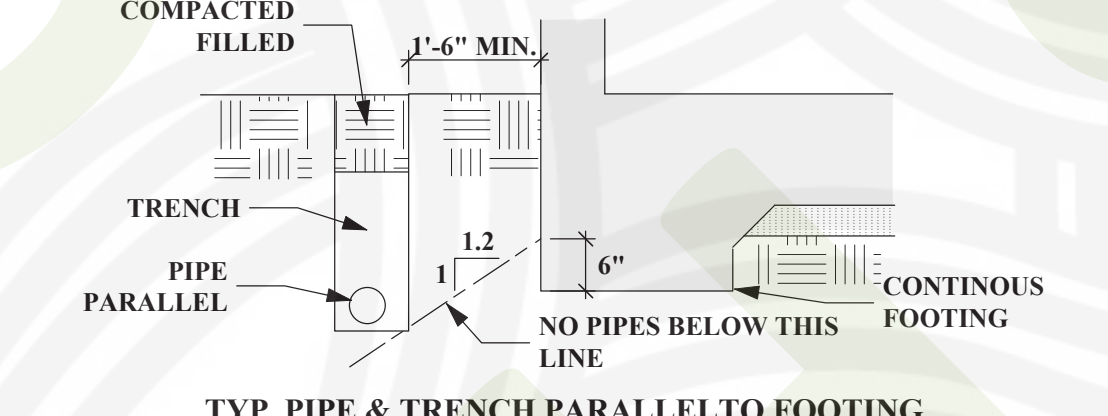
5 BAR BENDING DETAIL
 NOT TO SCALE



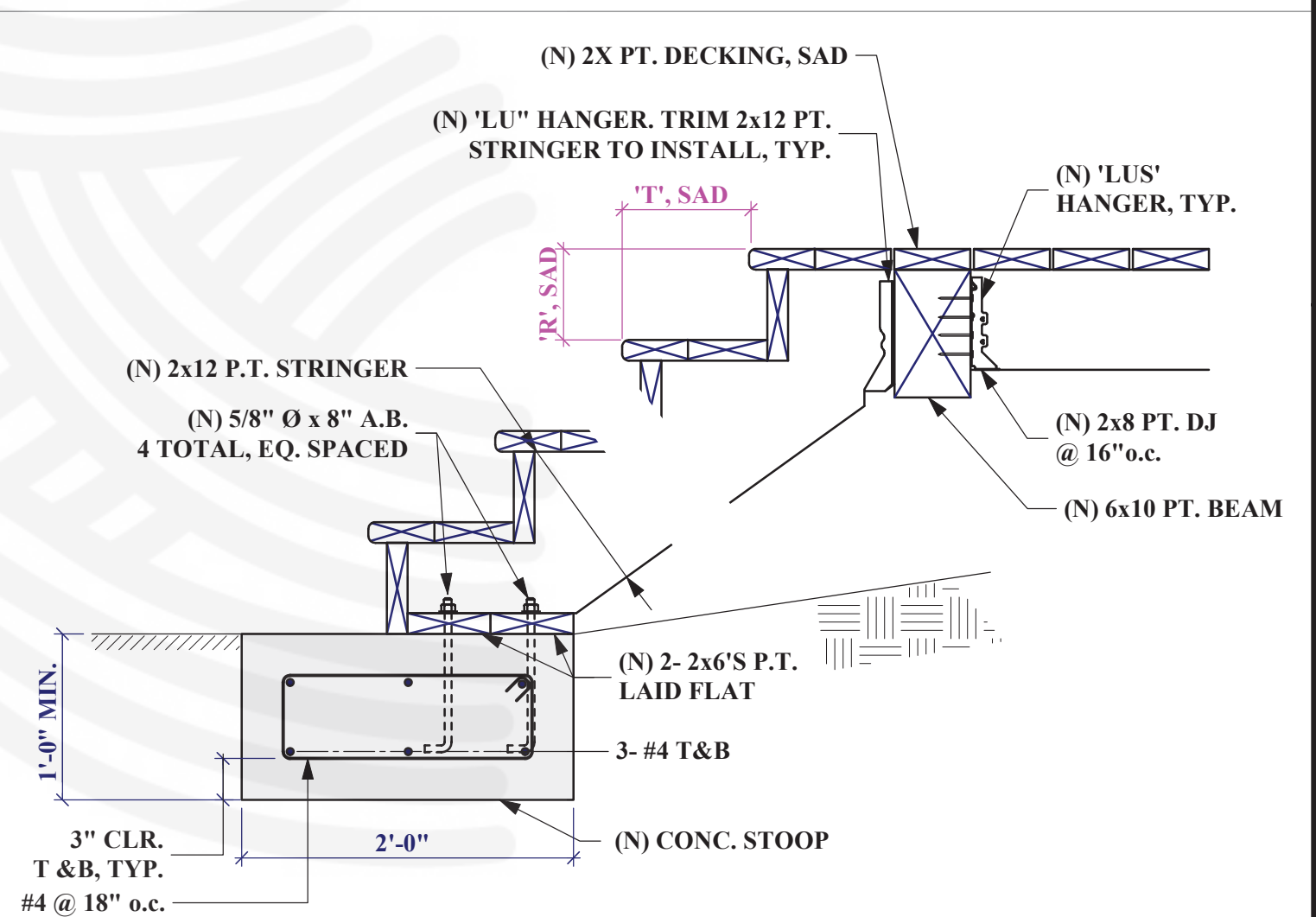
1 (N) EXPANDED FTG. @ (N) HFX ANCHOR, LINES 2 & 8
 1" = 1'-0"



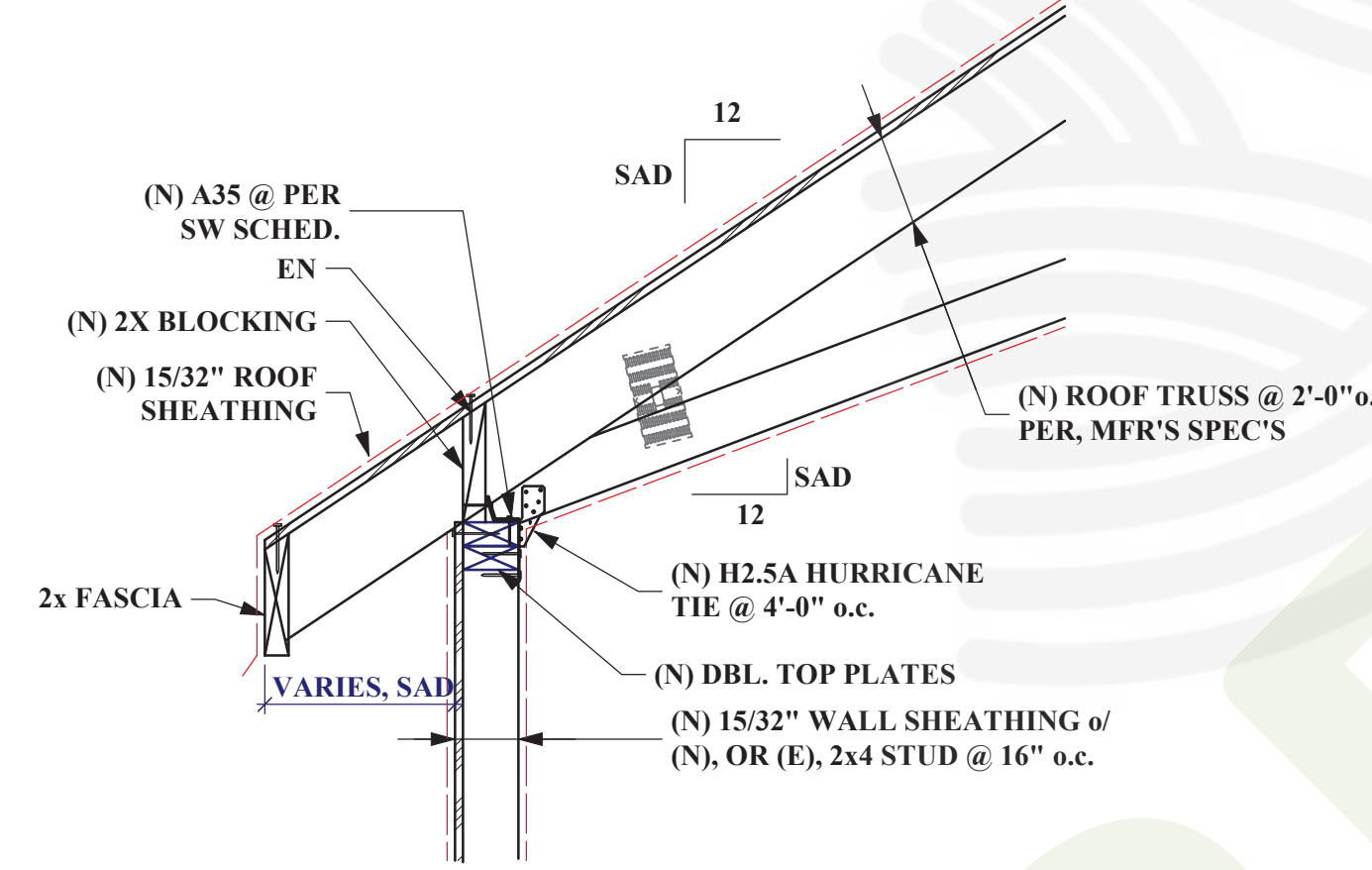
10 SECTION @ CANTILEVERED DECK
 1" = 1'-0"
 NOTE: SAD FOR WATERPROOFING.



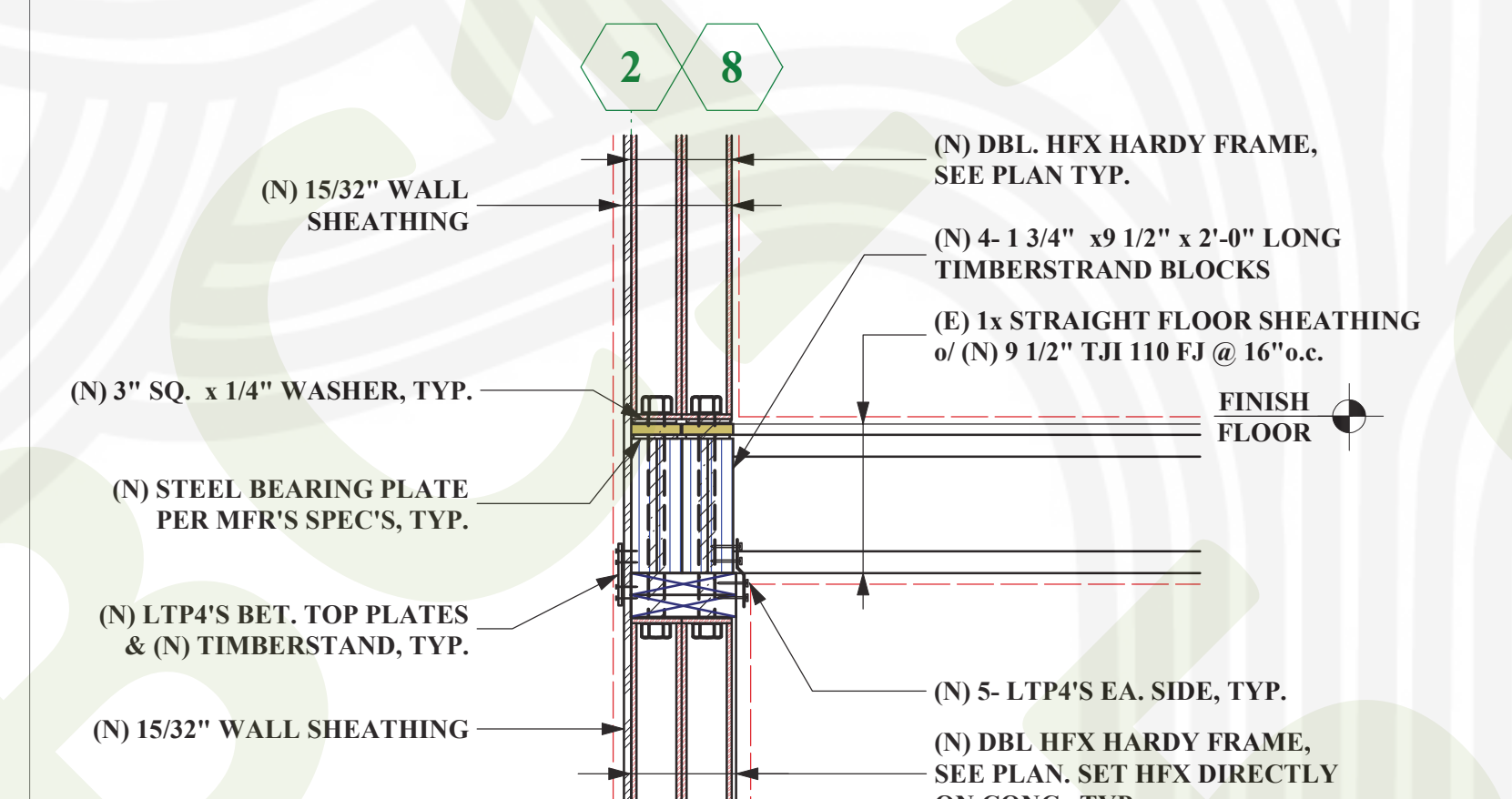
6 PIPES PENETRATING & ADJACENT TO FOOTINGS
 NTS



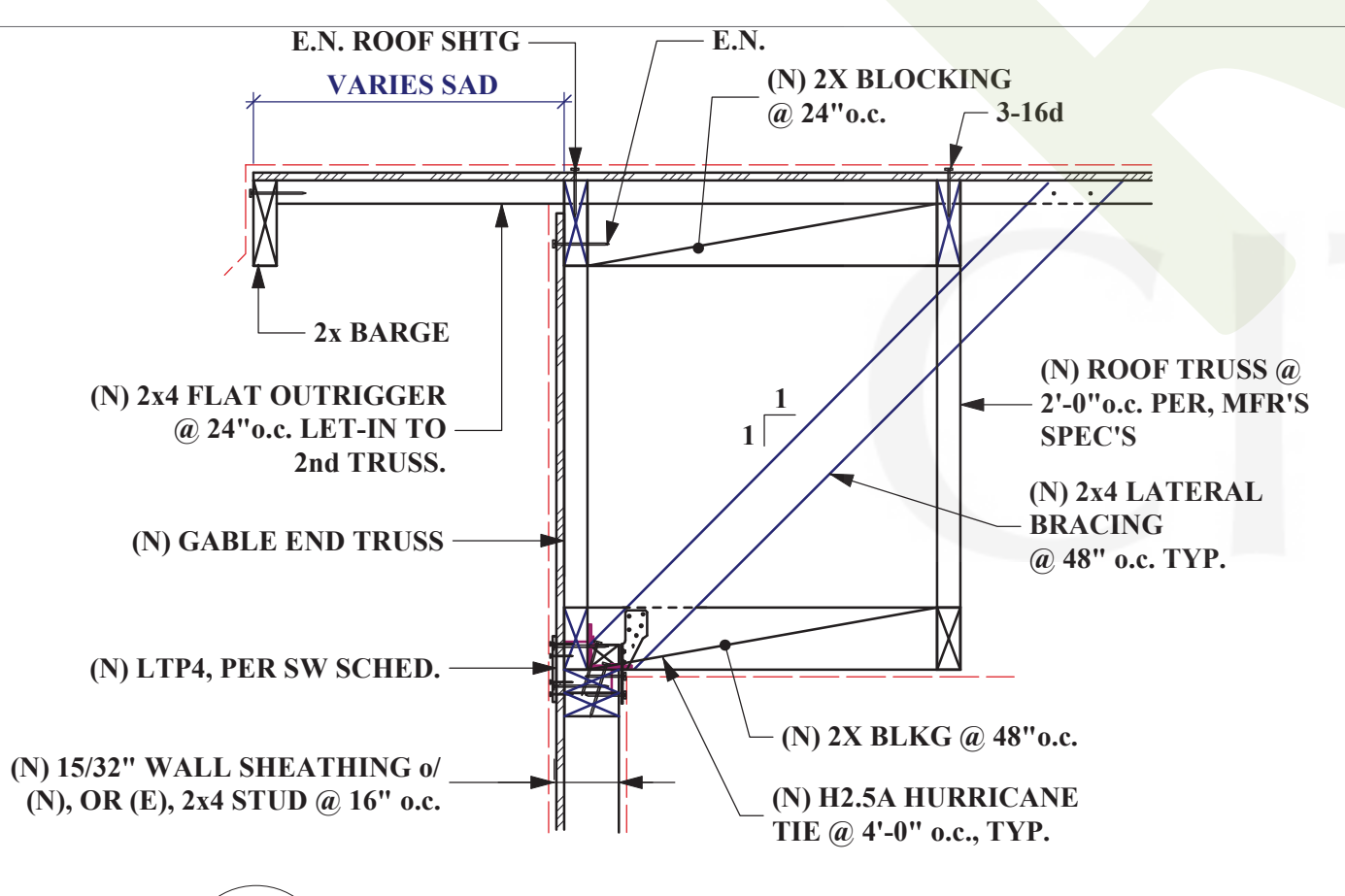
2 SECTION @ EXTERIOR STAIRS
 1" = 1'-0"



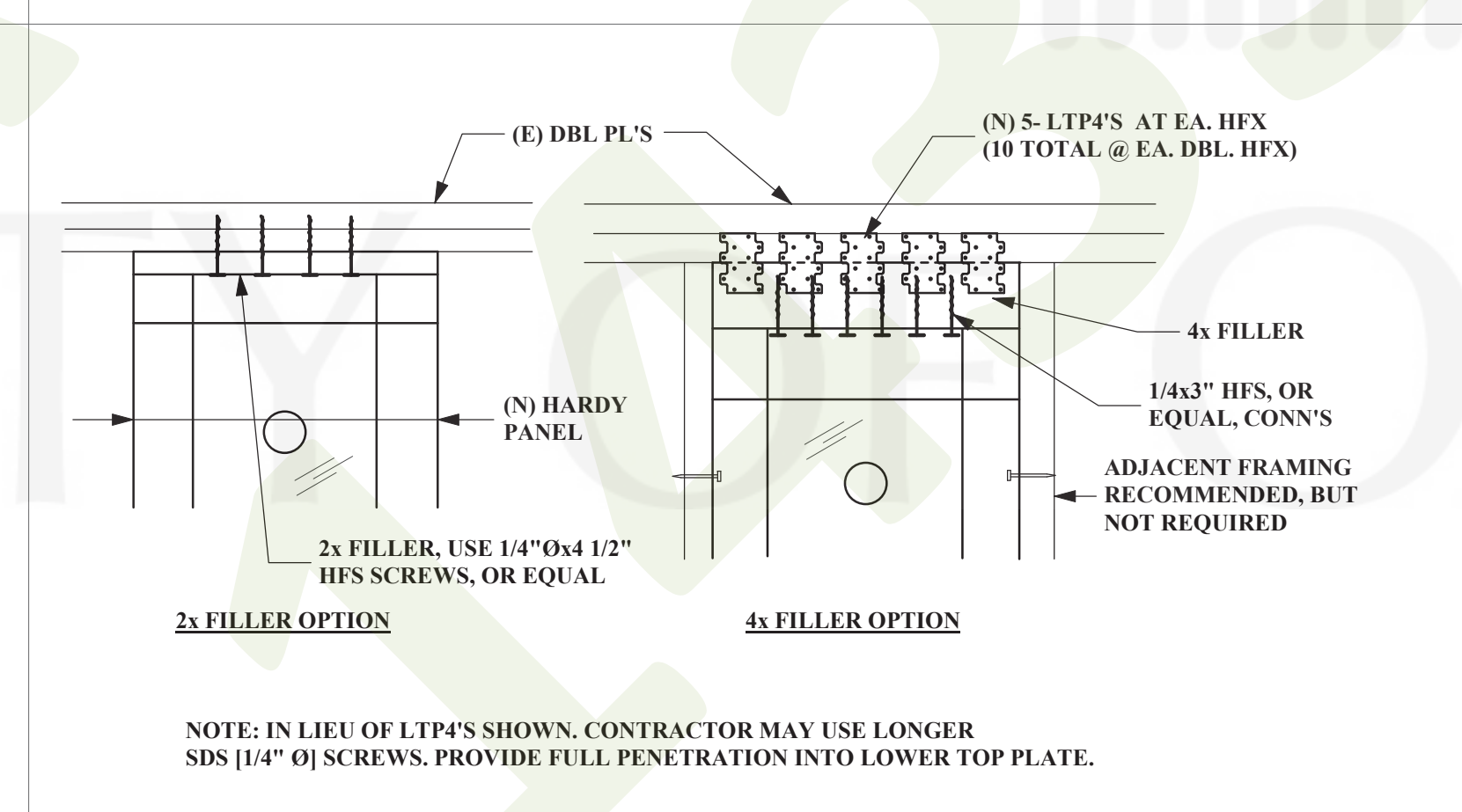
13 SHEAR TRANSFER @ UPPER ROOF, TRUSS ⊥ EXT. WALL
 1" = 1'-0"



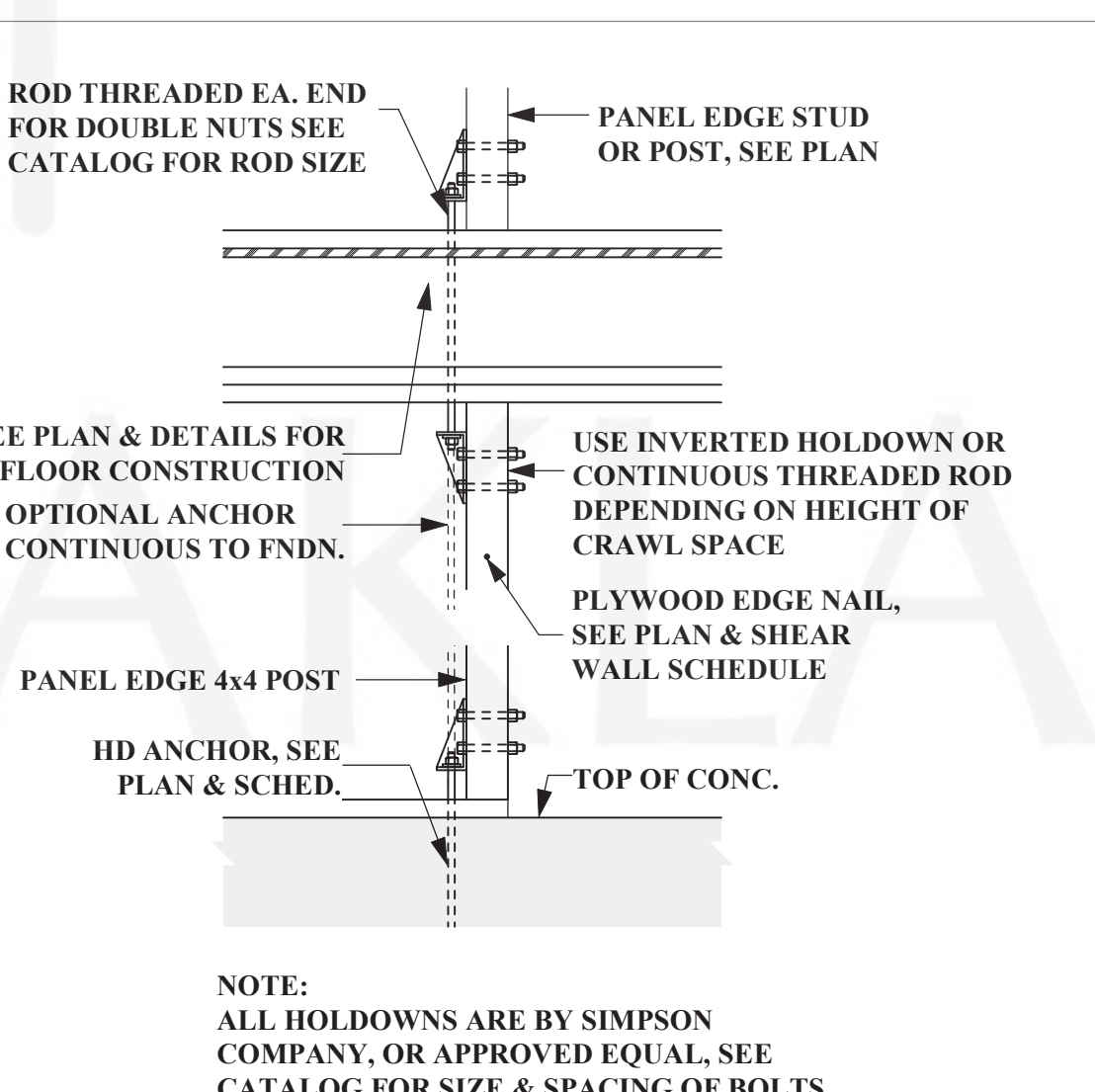
11 (N) EXPANDED FTG. @ (N) HFX ANCHOR, LINES 2 & 8
 1" = 1'-0"



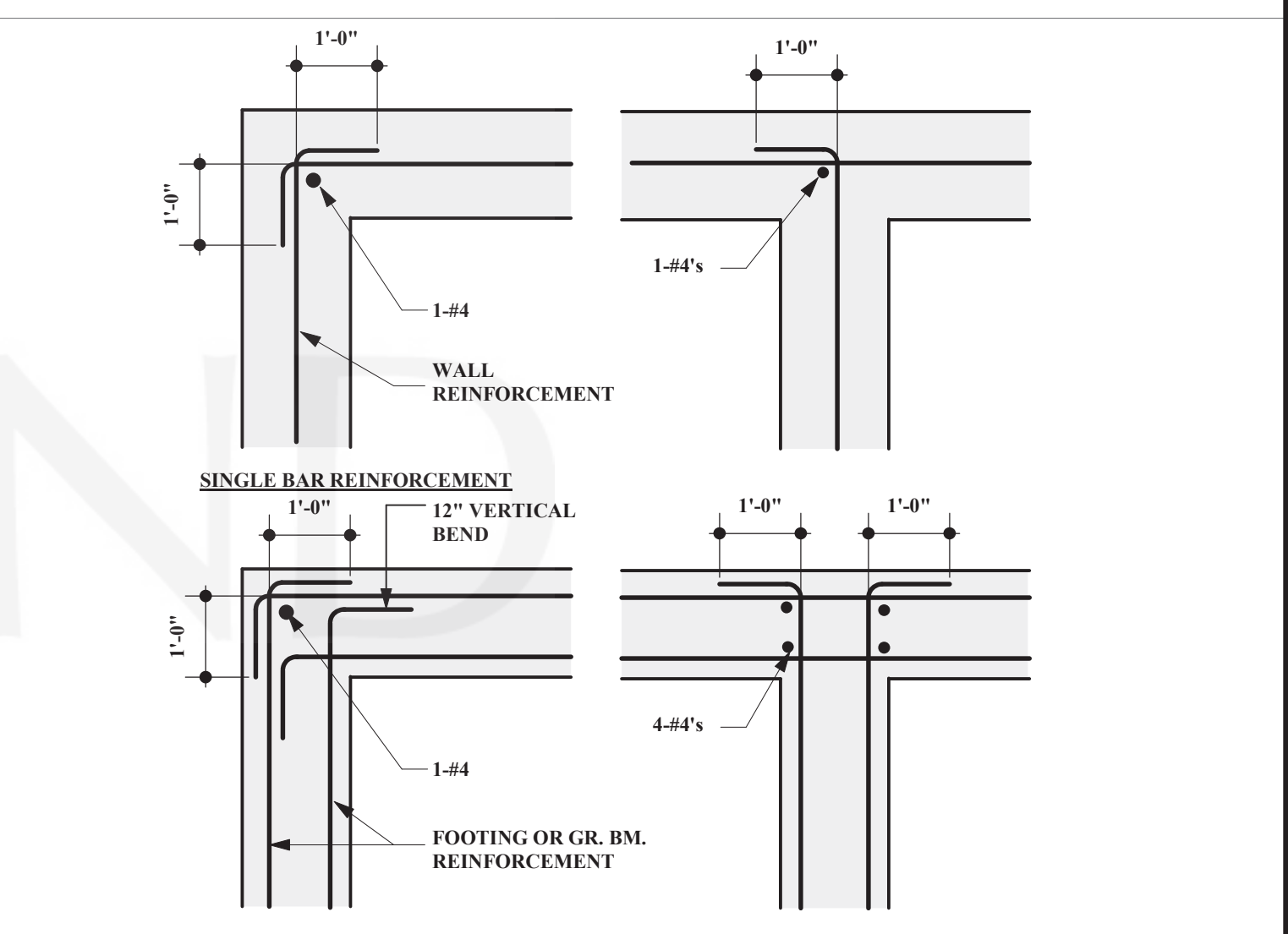
14 SHEAR TRANSFER @ UPPER ROOF, TRUSS || EXT. WALL
 1" = 1'-0"



12 HF PANELS WITH FILLERS AT TOP
 NTS



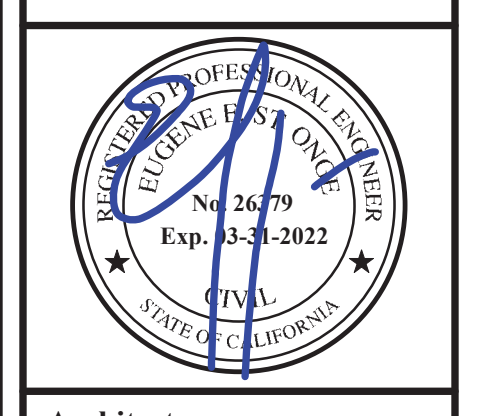
7 TYPICAL HOLDOWN DETAIL
 3/4" = 1'-0"



3 REINFORCING @ INTERSECTIONS & CORNERS
 NOT TO SCALE

REVISIONS BY

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DETAILS

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Date: October 19, 2020
 File: 1911145_AAA
 File number: 1950B.05 1435 9th St Oakland.mxd

GENERAL

APPLYING TO ALL STRUCTURAL FEATURES UNLESS OTHERWISE SHOWN OR NOTED.

- 1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE 2016 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF OAKLAND AMENDMENTS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
3. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.

DESIGN DATA

- 1. CODE: 2016 CBC
2. DESIGN VERTICAL LOADS: DL, LL
3. SEISMIC: V=0.111W (ASD) [SS= 1.54, S1= 0.61, SITE CLASS D, R=6.5, I= 1.0, SITE DES. CAT. E, SD1= 0.61, SDS=1.02]
4. WIND: H= 15.2 PSF (ASD)

OBSERVATIONS, TESTS & SPECIAL INSPECTIONS

- 1. PROVIDE TESTS AND INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE 2016 CALIFORNIA BUILDING CODE (CBC).
2. THE OWNER SHALL RETAIN AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND INSPECTIONS.
3. THE CONTRACTOR SHALL PROVIDE THE TESTING LAB WITH CONSTRUCTION SCHEDULES TO ENSURE PROPER COORDINATION OF WORK.

FOUNDATIONS

- 1. CBC SITE CLASS 5 IS ASSUMED FOR FOUNDATION DESIGN.
2. ALLOWABLE SOIL BEARING PRESSURE: 1500 PSF FOR DEAD PLUS LIVE LOADS.
3. EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE.

CONCRETE

- 1. CONCRETE CEMENT SHALL CONFORM TO 2016 CBC STND. NO. 19-1, AND SHALL BE TYPE II, TYPE I CEMENT MAY BE USED IN AREAS NOT IN CONTACT WITH EARTH.
2. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING BARS AND SECURELY THE PRIOR TO PLACING CONCRETE.
3. CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTHS OF 2500 PSI AT 28 DAYS.

REINFORCING STEEL

- 1. USE ASTM A615 REINFORCEMENT FOR ALL BARS, GRADE 60.
2. ALL REINFORCEMENT SHALL BE CONTIGUOUS. STAGGER SPICES WHERE POSSIBLE. LAPS FOR SPICES SHALL BE AS PER THE LAP SPICE SCHEDULE SHOWN IN THESE DRAWINGS.

ROUGH CARPENTRY

- 1. FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1, 2016 CBC. UNLESS OTHERWISE NOTED, ALL NAILS SHALL BE COMMON NAILS.
2. PLACE JOINTS WITH CROWN UP.
3. ADD ONE ADDITIONAL JOIST UNDER ALL PARALLEL PARTITIONS.
4. BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID BLOCKING.

SHEATHING

- 1. U.O.N., USE APA EXTERIOR, EXPOSURE 1, RATED SHEATHING IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARDS PS-95, PS2-92, OR NER-108 (PRP-108).
2. U.O.N., SHEARWALL SHEATHING SHALL BE 1/2" X 8" WITH EDGE NAILING AS INDICATED ON THE DRAWINGS.

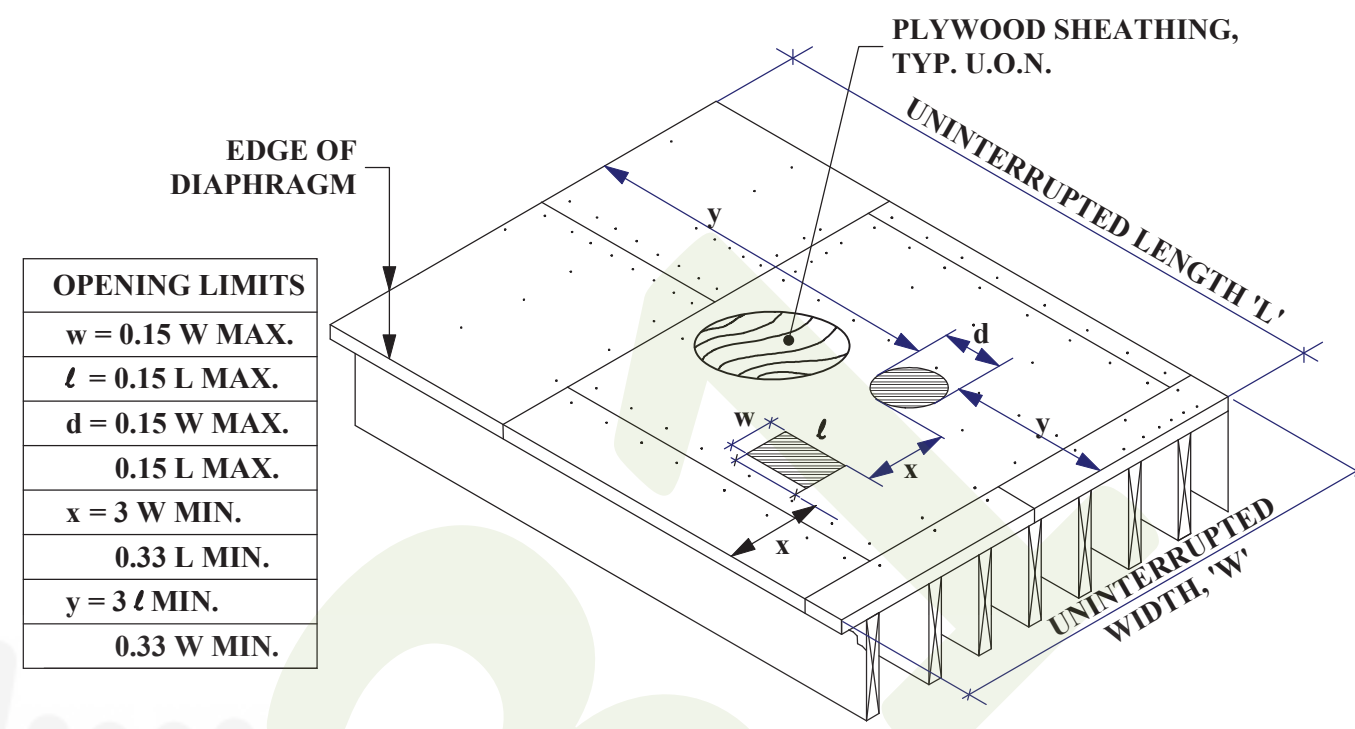
ROOF TRUSSES

- 1. FABRICATED TRUSSES FOR ROOF FRAMING SHALL BE DESIGNED BY A CALIFORNIA LICENSED ENGINEER.
2. DESIGN LOADS ARE AS FOLLOWS:
2.1 DEAD LOAD
2.1.1 TOP CHORD - 9 PSF
2.1.2 BOTTOM CHORD - 8 PSF
2.2 LIVE LOAD - 20 PSF
2.3 WIND LOAD - 18 PSF

STRUCTURAL STEEL

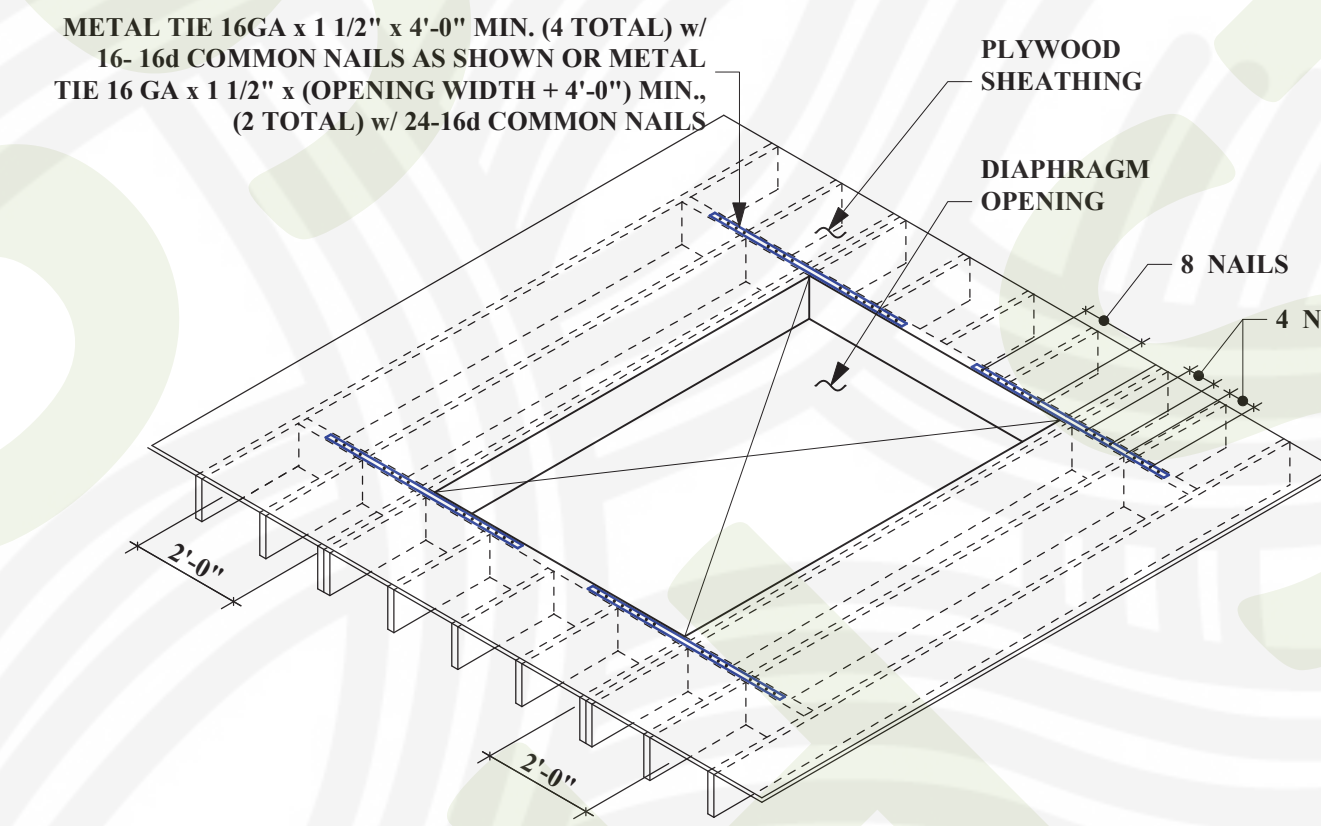
- 1. MATERIALS: STRUCTURAL STEEL (ROLLED SECTION) - ASTM A992, GRADE 50 PLATES & SHAPES - ASTM A36
U.O.N., BOLTS SHALL CONFORM TO ASTM A307 AND SHALL BE INSTALLED TO A 'SNUG-TIGHT' CONDITION.

- ALL EXPOSED METAL SHALL BE GALVANIZED OR PAINTED AND PROTECTED USING AN EXTERIOR METAL PRIMING PAINT AND A FINISH COAT.
2. FABRICATION AND ERECTION: COMPLY WITH AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", CURRENT EDITION
3. WELDING: COMPLY WITH AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE-STEEL" ANSI/AWS D1.1, CURRENT EDITION, AND "STRUCTURAL WELDING CODE - SHEET STEEL" AWS D1.3, CURRENT EDITION.

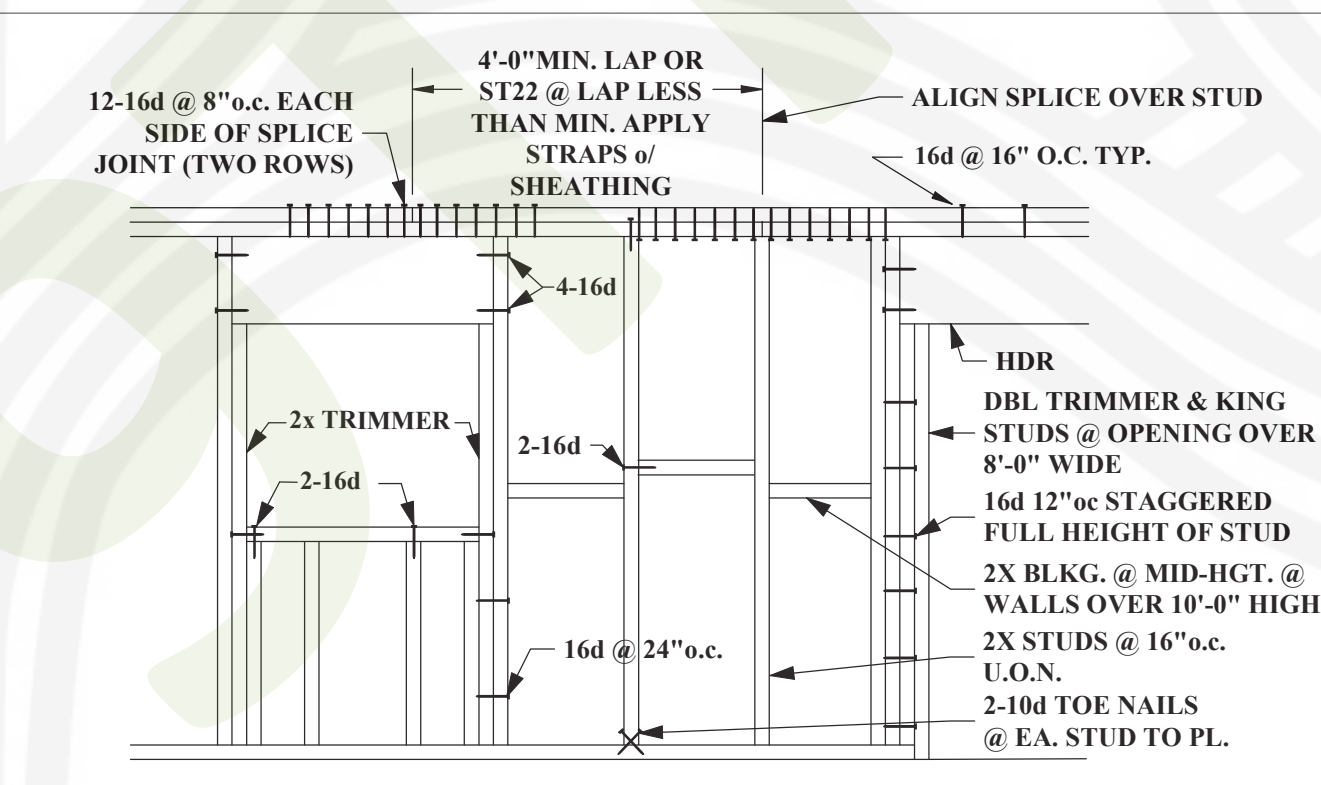


5 TYPICAL UNREINFORCED OPENINGS IN ROOF / FLOOR DIAPHRAGMS

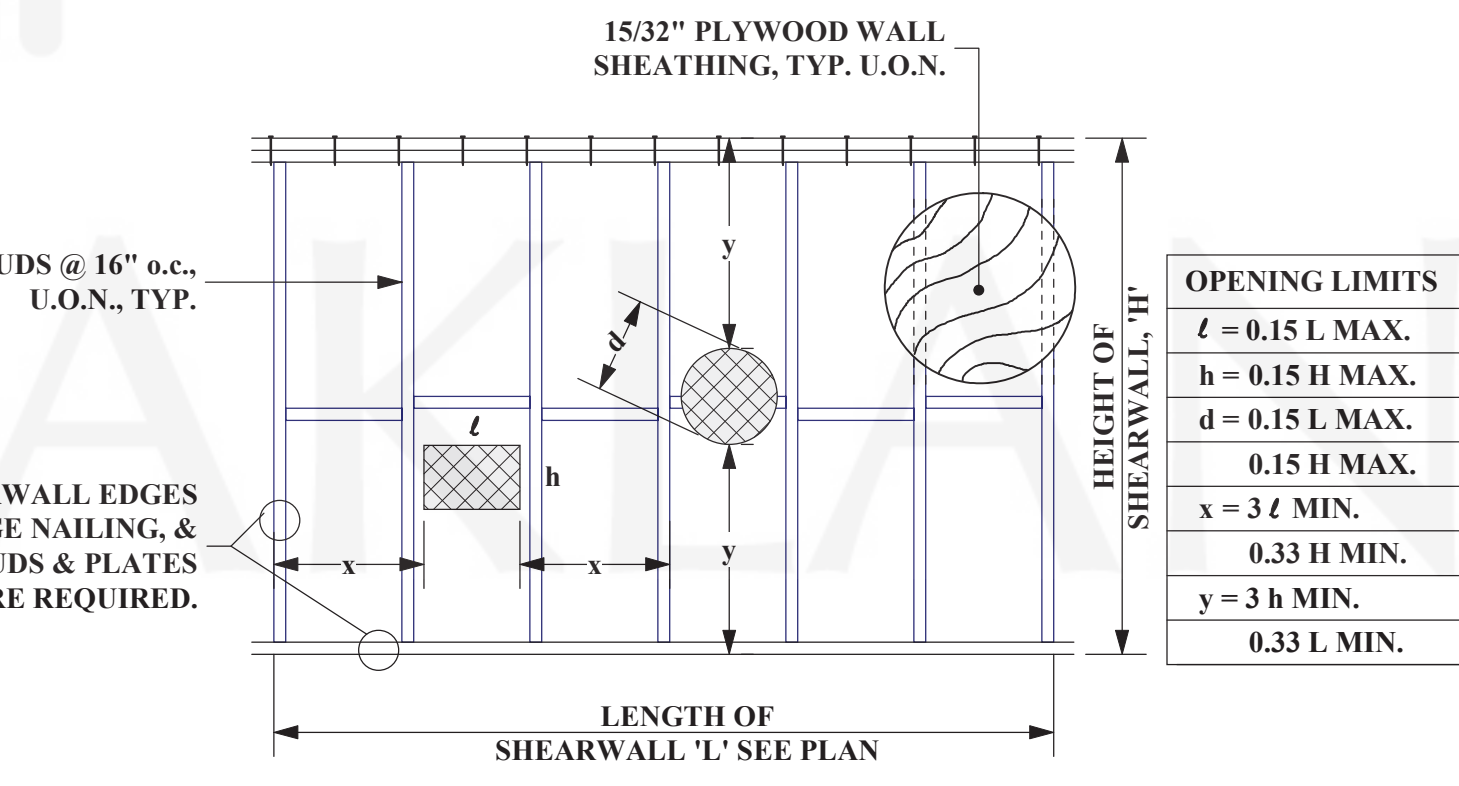
- NOTES: 1. OPENINGS EXCEEDING THE MAXIMUM SIZE OR MINIMUM EDGE LOCATION ARE NOT PERMITTED WITHOUT REINFORCING DESIGN PROVIDED BY STRUCTURAL ENGINEER.
2. EDGE OF DIAPHRAGM OCCURS AT, BUT IS NOT LIMITED TO; EXTERIOR AND INTERIOR SHEAR, WALLS, BEAMS, AND COLLECTORS.
3. FOR TYPICAL DIAPHRAGM DETAILS, SEE DETAIL 4.



6 TYP. REINFORCEMENT @ OPENING IN FLOOR DIAPHRAGM

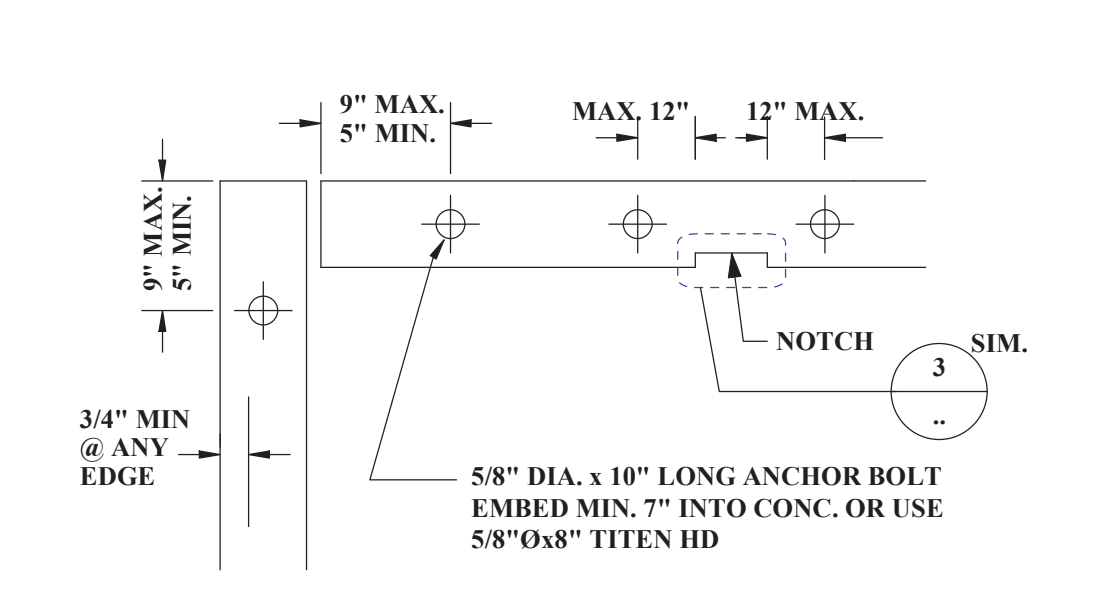


7 TYPICAL STUDWALL DETAIL (INCLUDING BEARING & SHEAR WALLS)



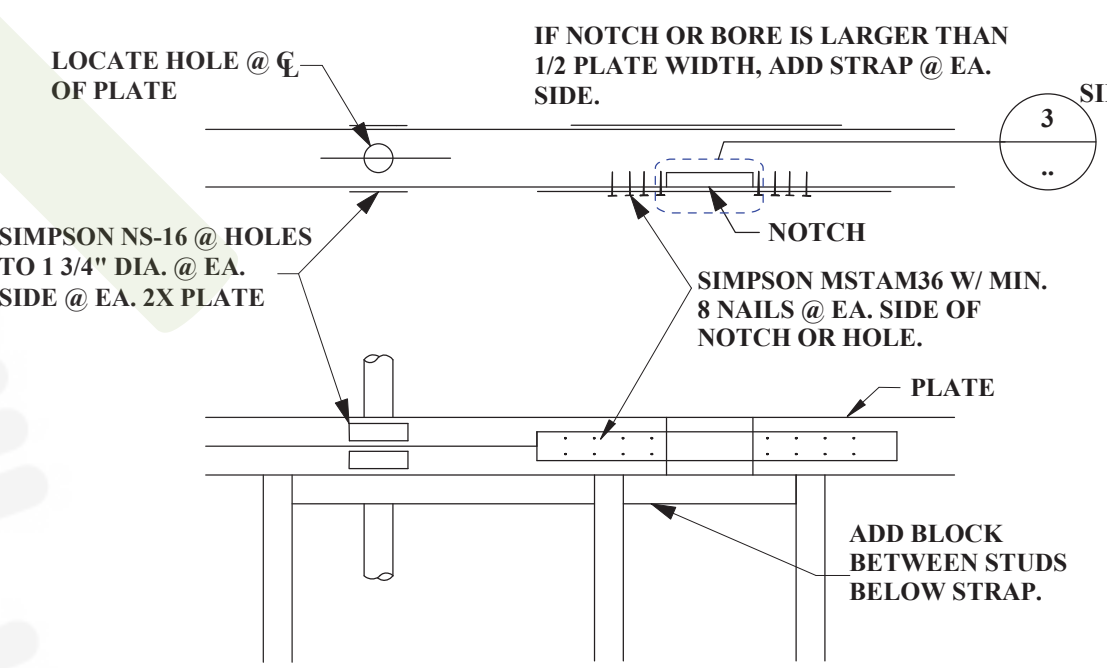
8 TYPICAL UNREINFORCED OPENINGS IN SHEARWALLS

- NOTES: 1. OPENINGS EXCEEDING THE MAXIMUM SIZE OR MINIMUM EDGE LOCATION ARE NOT PERMITTED WITHOUT REINFORCING DESIGN PROVIDED BY STRUCTURAL ENGINEER.
2. FOR TYPICAL SHEARWALL DETAILS, SEE DETAIL 7.



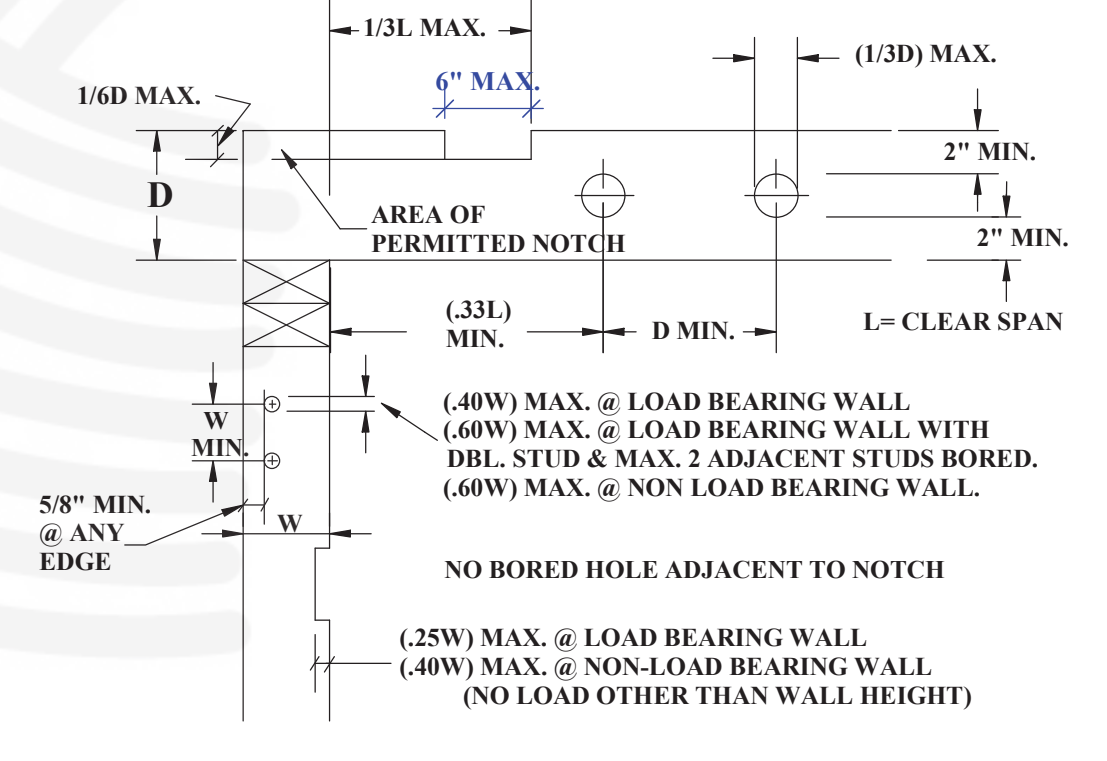
1 SILL PLATE DETAILS

- NOTE: 1. SEE SHEARWALL SCHED. FOR SPACING.
2. ALL ANCHOR BOLTS SHALL BE INSTALLED WITH 2\"/>



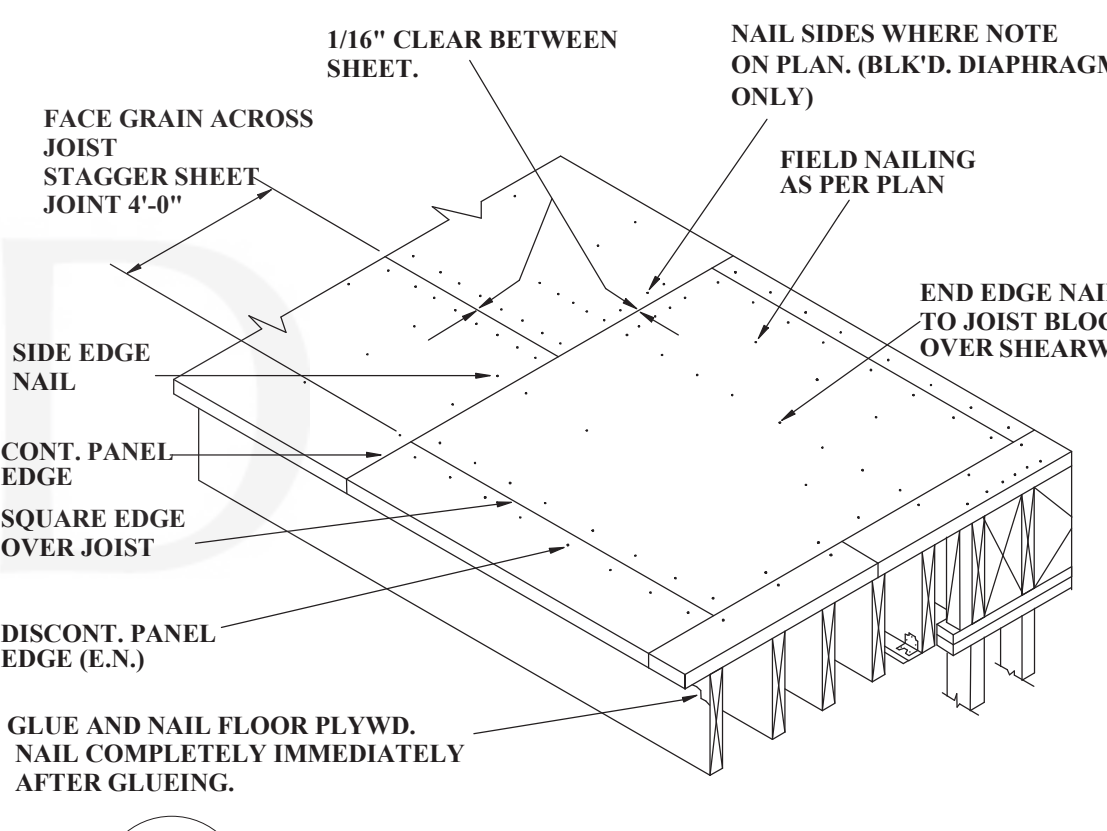
2 NOTCH OR BORE @ TOP PLATE

- NOTE: IN BEARING WALLS, NOTCHES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL OF STRUCTURAL ENGINEER.



3 NOTCH & BORE LIMITS @ STUDS & JOISTS

- NOTE: NOTCHES LARGER THAN 6\"/>



4 TYP. ROOF/FLOOR SHEATHING NAILING DET.

- TYP. FOR BLOCKED AND UNBLOCKED DIAPHRAGM SEE GENERAL NOTES @ LEFT FOR SHEARPLY & NAILING SPEC'S

Table with 2 columns: REVISIONS, BY. Contains a grid for tracking changes.

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